

The University of Tennessee

## **REQUEST FOR QUALIFICATIONS:**

**Construction Procurement Through**

## **Best Value Option One**

for the

## **Health Sciences Building**

540/005-05-2022

The University of Tennessee Chattanooga

May 7, 2025

### **RFQ COORDINATOR:**

Rebecca Douglas

Department of Capital Projects, The University of Tennessee

505 Summer Place – UT Tower 9<sup>th</sup> Floor

Knoxville, TN 37902

865.974.2628 / [designer@tennessee.edu](mailto:designer@tennessee.edu)

<https://capitalprojects.tennessee.edu/fp>

### **CONTENTS:**

#### **1.0 STANDARD DOCUMENTS**

- 1.1 INTRODUCTION
- 1.2 RFQ COMMUNICATIONS
- 1.3 PRE-PROPOSAL CONFERENCE AND PROPOSER COMMENTS
- 1.4 PROPOSAL REQUIREMENTS
- 1.5 BID AND CONTRACT REQUIREMENTS
- 1.6 EVALUATION GUIDE

#### **2.0 PROJECT SPECIFIC DOCUMENTS**

- 2.1 SCHEDULE OF EVENTS
- 2.2 TECHNICAL PROPOSAL
- 2.3 PROJECT NARRATIVE AND DOCUMENTATION

## **1.0 STANDARD DOCUMENTS**

### **1.1 INTRODUCTION**

#### **A. Purpose**

As identified on the cover page, the Owner has issued this Request for Qualifications (RFQ) for the designated Project. The RFQ defines service requirements; solicits proposals; details proposal requirements; and outlines the process for evaluating proposals and selecting and contracting with a contractor (Contractor) using the State of Tennessee's Best Value Option One (BV1) procurement delivery method. The BV1 method utilizes the process described in this RFQ to qualify proposers to identify a short list of contractors who are invited to bid. The Owner intends to contract with the responsive and responsible bidder offering the lowest cost for the work.

#### **B. Scope of Services**

1. The Contractor's services shall consist of providing construction services for the Project described in RFQ Section 2.3, Project Narrative and Documentation.
2. The Contract Documents will include, but are not limited to, the Owner's Designers' Manual Standard Documents Divisions 00 and 01. For the General Conditions of the Contract for Construction refer to the Owner's Designer Manual Section 00 72 13.

#### **C. Nondiscriminatory Participation**

1. Through this RFQ the Owner seeks to procure the best services at the most favorable, competitive prices and to give all qualified businesses, including those that are owned by minorities, women, persons with a disability, and small business enterprises, opportunity to do business with the Owner.
2. No person shall be excluded from participation in, be denied benefits of, be discriminated against in the admission or access to, or be discriminated against in treatment or employment in the State's contracted programs or activities on the grounds of disability, age, race, color, religion, sex, national origin, or other classification protected by federal or Tennessee State Constitutional or statutory law; nor shall they be excluded from participation in, be denied benefits of, or be otherwise subjected to discrimination in the performance of contracts with the State of Tennessee or in the employment practices of the State's contractors. Accordingly, all vendors entering into contracts with the State of Tennessee shall, upon request, show proof of such nondiscrimination and shall post in conspicuous places, available to all employees and applicants, notices of nondiscrimination.
3. Upon request the Owner will provide the Owner's designated contact to coordinate compliance with the nondiscrimination requirements of the State of Tennessee, Title VI of the Civil Rights Act of 1964, the Americans with Disabilities Act of 1990, and applicable federal regulations.

#### **D. Diversity in Contractual Relationships**

It is the express desire of the State Building Commission (SBC) to include an emphasis on diversity in its contractual relationships with contractors for the

construction, demolition or renovation of State projects under the jurisdiction of the Commission. Refer to Item 5 in the SBC Policy.

## **1.2 RFQ COMMUNICATIONS**

### **A. Notice of Intent to Propose**

1. Potential proposers shall submit a Notice of Intent to Propose by email to the RFQ Coordinator. The notice should include the following.

Proposer's organization name  
Name and title of a contact person  
Contact person's telephone number and email address

2. The Owner will convey all official communications and addenda to such proposers.
3. The Notice of Intent to Propose must be submitted no later than the date detailed in RFQ Section 2.1, Schedule of Events.
4. Such notice creates no obligation and is not a prerequisite for making a proposal.

### **B. RFQ Addenda and Cancellation**

1. The Owner reserves the right to issue addenda to this RFQ in writing up to five days prior to the Proposal Deadline.
2. The Owner reserves the right, at its sole discretion, to cancel and reissue this RFQ or to cancel this RFQ in its entirety.

### **C. Additional Communications Processes**

1. Unauthorized contact regarding this RFQ with employees or officials of the Owner or of the State of Tennessee other than the RFQ Coordinator may result in disqualification.
2. Interested parties and potential proposers must direct all communications regarding this RFQ to the RFQ Coordinator who is the Owner's official point of contact for this RFQ.
3. Notwithstanding the foregoing, for information and assistance regarding this RFQ interested parties may contact the staff of the Governor's Office of Diversity Business Enterprise.
4. The SBC Number for the Project shown on the cover must be referenced in all communications regarding the RFQ.
5. Oral communications shall be considered unofficial and non-binding with regard to this RFQ.
6. Each proposer shall assume the risk of the method of dispatching a communication or proposal to the Owner. The Owner assumes no responsibility for delays or delivery failures resulting from the method of dispatch. "Postmarking" of a communication or proposal shall not substitute for actual receipt of a communication or proposal by the Owner.
7. Only the Owner's official written responses and communications shall be considered binding with regard to this RFQ.

8. The Owner reserves the right to determine, at its sole discretion, the method of conveying official written responses and communications pursuant to this RFQ such as by letter, by email, or by website posting.

### **1.3 PRE-PROPOSAL CONFERENCE AND PROPOSER COMMENTS**

#### **A. Pre-Proposal Conference**

1. A Pre-Proposal Conference will be held at the time, date, and location detailed in RFQ Section 2.1, Schedule of Events. Attendance is not a prerequisite for making a proposal.
2. The purpose of the Pre-Proposal Conference is to discuss the RFQ scope of services and contract requirements. While questions will be entertained, the oral response to a question at the conference shall be considered tentative and non-binding with regard to this RFQ.

#### **B. Proposer Comments and Waiver of Objections**

1. Each proposer shall carefully review this RFQ and all attachments for comments, questions, defects, objections, or other matters requiring clarification or correction, collectively called Comments. Comments must be made in writing and received by the RFQ Coordinator no later than the Comments Deadline detailed in the RFQ Section 2.1, Schedule of Events.
2. A proposer's protests based on objections concerning the RFQ shall be considered waived and invalid if Comments relevant to the objections have not been brought to the attention of the RFQ Coordinator, in writing, by the Comments Deadline detailed in RFQ Section 2.1, Schedule of Events.
3. The Owner reserves the right to determine, at its sole discretion, the appropriate and adequate responses to Comments. The Owner's official responses to Comments pursuant to this RFQ shall be issued as an addendum to this RFQ.

### **1.4 PROPOSAL REQUIREMENTS**

#### **A. Proposal Deadline and Location**

1. Section 2.1, Schedule of Events, details the requirements for the location and the deadline time and date for submitting a proposal. A late proposal or a proposal not submitted to the designated location will not be accepted.
2. The proposal deadline time shall be established by the timepiece of the Owner.

#### **B. Proposal Contents**

1. A proposal must respond to the description of Contractor scope of services, contract requirements, and proposal requirements described in this written RFQ and RFQ attachments, exhibits, or addenda.
2. No portion of a proposal may be delivered orally or by means of electronic transmission.
3. A proposal in response to this RFQ shall consist of a Technical Proposal as described herein and RFQ Section 2.2.



4. Each proposer must submit a single digital file copy in a searchable PDF format. The digital file should not exceed 20 MB and should be named using the following format: "<Proposer Name> BV1 540/009-08-2024". Proposals should be clearly marked as follows.

**Technical Proposal**

Best Value Option One

Health Sciences Building

SBC No. 540/005-05-2022

Submitted By:

<<Contractor Name>>

<<Contractor License No., Classification, Expiration Date, License Limit>>

<<Contact Person Name, Address, Telephone Number, Email>>

**C. Technical Proposal Requirements**

1. No pricing information shall be included in the Technical Proposal. Inclusion in the Technical Proposal of a direct or implied revelation of bid amount information shall make the proposal non-responsive and the Owner will reject it.
2. Each proposer must use RFQ Section 2.2 to guide organization of the Technical Proposal. Each proposer shall duplicate RFQ Section 2.2 for use as the Table of Contents for the Technical Proposal by adding proposal page numbers and the proposer's name as indicated. The proposer must address all items for all sections and provide, in sequence, the required information and documentation with the associated item references.
3. The Technical Proposal must be economically prepared, with emphasis on completeness and clarity of content, legibly written, brief, and to the point in a direct response to the information requested for each item. All material must be on standard 8 1/2" x 11" paper with exceptions permitted for foldouts containing non-text information such as charts and spreadsheets.
4. All pages must be numbered excluding covers.
5. The Technical Proposal shall not exceed 25 pages excluding covers. Pages or sheets with print on both sides will be counted as two pages. Hyperlinks and QR Codes should not be included in any proposal. All pertinent information should be clearly and concisely documented within the 25 pages allowed.
6. All information included in a Technical Proposal shall be relevant to a specific requirement detailed in RFQ Section 2.2. All information must be incorporated into a response to a specific requirement and clearly referenced. Information not meeting these criteria will be deemed extraneous and will in no way contribute to the evaluation process.

**D. Proposal Prohibitions and Right of Rejection**

1. Each proposal must comply with all of the terms and requirements of this RFQ and all applicable State laws and regulations. The Owner reserves the right, at its sole discretion, to consider non-responsive and reject a proposal that does not comply with all of the terms, conditions, and performance requirements of this RFQ.
2. A proposal of alternate services (i.e., a proposal that offers services different from those requested by this RFQ) may be considered non-responsive and rejected.

3. A proposer shall not restrict the rights of the Owner or otherwise qualify a proposal. The Owner may determine such a proposal to be a non-responsive counteroffer and reject the proposal.
4. A proposer shall not submit the proposer's own contract terms and conditions in a response to this RFQ. If a proposal contains such terms and conditions, the Owner may determine, at its sole discretion, the proposal to be a non-responsive counteroffer, and the proposal may be rejected.
5. A proposer shall not submit more than one proposal. Submitting more than one proposal shall result in the disqualification of the proposer.
6. A proposer shall not submit multiple proposals in different forms. This prohibited action shall be defined as a proposer submitting one proposal as a Contractor and permitting a second proposer to submit another proposal with the first proposer offered as a subcontractor. This restriction does not prohibit different proposers from offering the same subcontractor as a part of their proposals, provided that the subcontractor does not also submit a proposal as a Contractor. Submitting multiple proposals in different forms may result in the disqualification of all proposers knowingly involved.
7. The Owner will reject a proposal if the bid was not arrived at independently without collusion, consultation, communication, or agreement as to a matter relating to such prices with another proposer. Regardless of the time of detection, the Owner shall consider the foregoing prohibited actions that are detected to be grounds for proposal rejection or contract termination.
8. The Owner reserves the right, at its sole discretion, to reject any and all proposals in accordance with applicable laws and regulations.
9. The Owner will not contract with or consider a proposal from:
  - a. an individual who is, or within the past six months has been, an employee or official of the State of Tennessee;
  - b. a company, corporation, or other contracting entity in which an ownership of two percent or more is held by an individual who is, or within the past six months has been, an employee or official of the State of Tennessee (this shall not apply either to financial interests that have been placed into a "blind trust" arrangement pursuant to which the employee does not have knowledge of the retention or disposition of such interests or to the ownership of publicly traded stocks or bonds where such ownership constitutes less than two percent of the total outstanding amount of the stocks or bonds of the issuing entity);
  - c. a company, corporation, or other contracting entity which employs an individual who is, or within the past six months has been, an employee or official of the State of Tennessee in a position that would allow the direct or indirect use or disclosure of information, which was obtained through or in connection with his or her employment and not made available to the general public, for the purpose of furthering the private interest or personal profit of a person; or,
  - d. an individual, company, or other entity involved in assisting the Owner in the development, formulation, or drafting of this RFQ or its scope of services shall be considered to have been given information that would afford an

unfair advantage over other proposers, and such individual, company, or other entity may not submit a proposal in response to this RFQ.

- e. for the purposes of applying the requirements herein, an individual shall be deemed an employee or official of the State of Tennessee until such time as all compensation for salary, termination pay, and annual leave has been paid.

E. Waiver of Variances

The Owner reserves the right, at its sole discretion, to waive a proposal's variances from full compliance with this RFQ. If the Owner waives minor variances in a proposal, such waiver shall not modify the RFQ requirements or excuse the proposer from full compliance with such. Notwithstanding a minor variance, the Owner may hold a proposer to strict compliance with this RFQ.

F. Proposal Withdrawal

A proposer may withdraw a submitted proposal at any time up to the Proposal Deadline time and date detailed in RFQ Section 2.1, Schedule of Events. To do so, a proposer must submit a written request, signed by a proposer's authorized representative to withdraw a proposal. After withdrawing a previously submitted proposal, a proposer may submit another proposal at any time up to the Proposal Deadline.

G. Proposal Errors and Amendments

Each proposer is liable for all proposal errors or omissions. A proposer may not alter or amend proposal documents after the Proposal Deadline time and date detailed in RFQ Section 2.1, Schedule of Events, unless such is requested in writing and approved by the Owner.

H. Proposal Preparation Costs

The Owner will not pay costs associated with the preparation, submittal, presentation, or contracting of a proposal.

I. Disclosure of Proposal Contents

1. Each proposal and all materials submitted to the Owner in response to this RFQ shall become the property of the Owner. Selection or rejection of a proposal does not affect this right. All proposal information shall be held in confidence during the evaluation process. Notwithstanding, a list of actual proposers submitting timely proposals may be available to the public, upon request, immediately after Technical Proposals are opened by the Owner.
2. By submitting a proposal, the proposer acknowledges and accepts that the full proposal contents and associated documents shall become open to public inspection in accordance with Tennessee Code Annotated (TCA), § 10-7-504(a)(7).

J. Licensure and Qualifications

1. A proposer must be a licensed General Contractor in the State of Tennessee. Before a contract pursuant to this RFQ is signed, the proposer and its personnel, if applicable, must hold all necessary, applicable business and professional licenses as may be required for specific services. The Owner may require a proposer to submit evidence of proper licensure.

2. Proposers shall be familiar with the Contractors Licensing Act of 1994, as currently amended (codified in TCA § 62-6-101, et seq.). A contract will not be awarded to a proposer whose proposal is in conflict with State licensing law.
3. In compliance with TCA § 50-9-114 proposers are advised that the Owner does not operate a certified drug-free workplace program that serves for compliance with TCA § 50-9-113.
4. Proposals submitted shall not include a contractor or subcontractor disqualified from participating in SBC projects. The Office of the State Architect (OSA) maintains a list of those that are disqualified.
5. The proposer and its subcontractors shall not knowingly utilize the services of an illegal immigrant in the performance of the Work, and shall not knowingly utilize the services of a subcontractor, sub-subcontractor, or consultant who utilizes the services of an illegal immigrant in the performance of the Work.
6. In compliance with the Iran Divestment Act bids submitted shall not include a contractor or subcontractor on the list created pursuant to TCA § 12-12-106.
7. In compliance with TCA § 12-4-119, Contractors currently engaged in a boycott of Israel or who intend to engage in a boycott of Israel should not bid.

K. Severability

If a provision of this RFQ is declared by a court to be illegal or in conflict with a law, said decision shall not affect the validity of the remaining RFQ terms and provisions, and the rights and obligations of the Owner and proposers shall be construed and enforced as if the RFQ did not contain the particular provision held to be invalid.

L. Material Changes in Performance Capabilities Prior to Award

Material changes are defined as changes in the operations, management or performance capabilities of the proposer that may impact performance of the contract requirements. If there are material changes after the submission of the proposal, but prior to submission of a bid, the proposer shall immediately notify the Owner of the details of such changes. The Owner reserves the right to disqualify the proposer for a material change.

M. Audited Statements

The Owner reserves the right to request CPA audited or reviewed financial statements prepared in accordance with generally accepted accounting principles. If the requested documents do not support the financial stability of the proposer the Owner reserves the right to reject the proposal.

## 1.5 BID AND CONTRACT REQUIREMENTS

A. Bidding Documents

1. The Designer will issue bidding documents to proposers that meet proposal format and content requirements, meet the requirements of Section 2.2, Technical Proposal, Section A, Mandatory Requirements, and, after evaluation, meet or exceed the Minimum Qualifying Technical Proposal Score provided in Section 2.2, Technical Proposal. Bidding documents will include the following documents which are provided pro forma in the Owner's Designers' Manual:

00 21 13 Instructions to Bidders, 00 41 13 Bid Form, and 00 47 13 Construction Bid Envelope.

2. Short-listed proposers shall submit a bid in accordance with requirements of the bidding documents issued by the Designer.

B. Subcontractors in Bids

If any work, regardless of dollar value, is required for the trades listed below, bidders shall prepare a bid that lists a subcontractor for such trades that are identified in the bidder's Technical Proposal. If bidder will self-perform listed trade work, list the bidder as the subcontractor.

1. Electrical
2. HVAC
3. Masonry
4. Plumbing
5. Roofing
6. Landscaping

C. Right to Refuse Personnel

At its sole discretion, the Owner reserves the right to refuse personnel of the Contractor or a subcontractor for use in the performance of a contract pursuant to this RFQ.

D. Insurance

Prior to execution of an agreement for construction services a certificate(s) of insurance will be required as detailed in the Owner's Designers' Manual, Section 00 72 13 General Conditions of the Contract for Construction.

E. Contract Award

1. The Owner intends to contract with the responsive and responsible bidder offering the lowest cost for the work. Such bidder will be recommended to the State Building Commission for award of a contract.
2. The Owner will make the RFQ files available for public inspection on the date in RFQ Section 2.1, Schedule of Events.
3. RFQ protest procedures are located in the SBC Policies and Procedures posted on the OSA's website.
4. The Owner reserves the right, at its sole discretion, to add terms and conditions or to revise pro forma contract requirements in the Owner's best interests subsequent to this RFQ process. No such terms and conditions or revision of contract requirements shall materially affect the basis of proposal evaluations or negatively impact the competitive nature of the RFQ process.
5. The RFQ process does not obligate the Owner and does not create rights, interests, or claims of entitlement in proposers. Contract award and the Owner obligations pursuant thereto shall commence only after contract approval of all State officials as required by State laws and regulations and not prior to the proposer's receipt of a fully signed contract.
6. In the event it is determined that the proposer failed to disclose requested information, or made a false statement, misrepresentation or omission regarding a material fact concerning an aspect of the award of a contract, the proposer may

be considered in default and the Owner may terminate the contract immediately and/or withhold full or partial payment as it deems appropriate. In addition, the Owner may seek other available remedies to which it is entitled by law.

F. Contract Payments

All contract payments shall be made in accordance with the Contract Documents.

## 1.6 EVALUATION GUIDE

A. Scoring

The evaluation process is designed to establish qualified proposers that score at least the Minimum Qualifying Technical Proposal Score provided in Section 2.2, Technical Proposal.

B. Process

1. After the proposal deadline provided in RFQ Section 2.1, Schedule of Events, the Owner will open and review each Technical Proposal for a “Pass” or “Fail” evaluation based on compliance with each of the Mandatory Requirements of Section 2.2, Technical Proposal, and the following proposal format and content requirements.
  - a. Received on or before the proposal deadline.
  - b. Number of copies, digital file, and packaging as required.
  - c. Formatted as required and does not exceed size or page number limits.
  - d. Contains no bid amount information.
  - e. Proposer did not submit alternate proposals.
  - f. Proposer did not submit multiple proposals in a different form.
  - g. Does not contain restrictions of the rights of the Owner or other qualification of the proposal.
2. If the Owner determines that a proposal may have failed to meet one or more of the “Pass or Fail” criteria or the proposal format and content requirements, the Evaluation Team, described below, will review that proposal and make its own determination, documented in writing, of whether (1) the proposal meets requirements for further evaluation or (2) the Owner will request clarifications or corrections to enable further evaluation or (3) the Owner will determine the proposal non-responsive to the RFQ and reject it.
3. An Evaluation Team made up of three or more employees of the State of Tennessee will evaluate responsive proposals. The Evaluation Team may utilize technical advisers.
4. The Owner may contact references provided by the proposer and other sources available for reference information.
5. Each Evaluation Team member will independently evaluate proposals and assign points using Section B, Qualifications and Experience, and Section C, Technical Approach, in RFQ Section 2.2, Technical Proposal.
6. The Owner reserves the right, at its sole discretion, to request proposer

clarification of a Technical Proposal or to conduct clarification discussions with proposers. Such discussions shall be limited to specific sections of the proposal identified by the Owner. The subject proposer shall put the resulting clarification in writing as may be required by the Owner.

7. The Owner reserves the right to receive an oral presentation from a proposer. Oral presentation topics and the number of firms presenting are at the sole discretion of the Owner.
8. Using the scores from the Evaluation Team, the Owner will develop Technical Proposal Scores. For each proposer the median score of all evaluators' scores is determined for both Technical Proposal Sections B and C. The two median scores for each proposer are added to determine the proposer's Technical Proposal Score.
9. After Technical Proposal evaluations are completed, the Owner will advise proposers of evaluation results.

END

## 2.0 PROJECT SPECIFIC DOCUMENTS

### 2.1 SCHEDULE OF EVENTS

The following table provides the Owner's proposed Schedule of Events. The Owner reserves the right, at its sole discretion, to change this schedule. The Owner will communicate a change to the Schedule of Events to entities from whom the Owner has received a Notice of Intent to Propose.

EVENT	DATE	TIME at LOCATION
1. Owner Issues RFQ	May 7, 2025	
2. Pre-Proposal Conference Location and Instructions below.	May 15, 2025, via Zoom	10:00 am ET
3. Notice of Intent to Propose Deadline	May 19, 2025	
4. Comments Deadline	May 20, 2025	
5. Owner Responds to Comments	May 26, 2025	
6. Proposal Deadline Proposals must be submitted to the Owner no later than the date and time shown, at the location below.	June 4, 2025	12:00 pm ET
7. Owner Advises Proposers of Evaluation Results and Procurement File Opened for Public Inspection	June 17, 2025	
8. Invitation to Bid Issued with Pre-Bid Conference Date	To Be Determined	

#### Pre-Proposal Conference Location and Instructions:

Held via Zoom – Zoom meeting invitation will be sent to firms requesting information from RFQ coordinator by May 14, 2025, at 5:00 p.m. Eastern Time. The Zoom meeting invitation will be sent out the morning of May 15, 2025.

#### Proposal Submittal Location:

Proposals will be received via Microsoft Teams Upload. Proposers who intend to submit a qualification should contact the RFQ Coordinator no later than May 19, 2025, at 5:00 p.m. Eastern Time to receive instructions on uploading submission to assigned portal.

END



## 2.2 TECHNICAL PROPOSAL

<b>PROPOSER NAME:</b>	
<b>TECHNICAL PROPOSAL SECTION A: MANDATORY REQUIREMENTS</b> Owner Evaluation for Each Requirement: Pass or Fail	<b>Proposal Page Number</b> (By Proposer)
<b>A.1</b> Provide a completed Certification Statement, in the format provided herein.	
<b>A.2</b> Provide a letter(s) from an insurance and/or surety agency stating Proposer's capability to provide insurance and bonding for the Project in accordance with the estimated construction cost listed in RFQ Section 2.3, Project Narrative and Documentation, and the General Conditions of the Contract for Construction.	
<b>A.3</b> Describe Proposer's form of business (e.g., corporation, partnership, limited liability company) and the U.S. state in which it is established.	
<b>A.4</b> Provide a statement of whether there have been mergers, acquisitions, or sales of Proposer within the last five years, and if so, an explanation providing relevant details.	
<b>A.5</b> Provide a statement that discloses pending litigation against Proposer. The Owner reserves the right to request an opinion of Proposer's counsel as to whether pending litigation will impair performance in a contract under this RFQ.	
<b>A.6</b> Provide a statement declaring whether, in the last ten years, the Proposer has filed, or had filed against it, bankruptcy or insolvency proceeding, whether voluntary or involuntary, or undergone the appointment of a receiver, trustee, or assignee for the benefit of creditors, and if so, an explanation providing relevant details.	
<b>A.7</b> Identify Proposer's primary contact person for the Owner including mailing address, telephone number, and email address.	
<b>A.8</b> Provide a statement declaring Proposer does not have a prohibition for proposing as stated in RFQ Section 1.4.D.9 and an explanation of potential conflict.	

## **CERTIFICATION STATEMENT** (In response to Technical Proposal Section A.1.)

**Proposer Legal Entity Name:** \_\_\_\_\_

**Proposer Tennessee Contractor License Information:**

License Number: \_\_\_\_\_ License Classification applicable to project: \_\_\_\_\_

License expiration date: \_\_\_\_\_ Dollar Limit: \$ \_\_\_\_\_

**The Proposer hereby acknowledges, attests, certifies, warrants, and assures that:**

1. This Proposal constitutes (a) a commitment to provide all services as defined in an Agreement executed pursuant to this Request for Qualifications (RFQ) and (b) confirmation that the Proposer shall comply with all of the provisions in this RFQ.
2. The information detailed in the Proposal submitted herewith in response to the subject RFQ is truthful, accurate and complete.
3. The Proposal submitted herewith in response to the subject RFQ shall remain valid for at least 60 days subsequent to the date of the bid opening and thereafter in accordance with a contract pursuant to the RFQ.
4. The Proposer shall not utilize the services of a contractor or subcontractor disqualified from participating in State Building Commission projects.
5. The Proposer shall not knowingly utilize the services of an illegal immigrant in the performance of an executed Agreement and shall not knowingly utilize the services of a subcontractor, sub-subcontractor, or consultant who utilizes the services of an illegal immigrant in the performance of the Work.
6. As applicable to an executed Agreement, the proposer shall comply with:
  - a. the laws of the State of Tennessee;
  - b. Title VI of the federal Civil Rights Act of 1964;
  - c. Title IX of the federal Education Amendments Act of 1972;
  - d. the Equal Employment Opportunity Act and the regulations issued thereunder by the federal government;
  - e. the Americans with Disabilities Act of 1990 and the regulations issued thereunder by the federal government;
  - f. the condition that the submitted Proposal was independently arrived at, without collusion, under penalty of perjury;
  - g. the condition that no amount shall be paid directly or indirectly to an employee or official of the State of Tennessee as wages, compensation, or gifts in exchange for acting as an officer, agent, employee, subcontractor, or consultant to the Proposer in connection with the Procurement under this RFQ; and,
  - h. the condition that in compliance with the Iran Divestment Act the Proposer is not on the list created pursuant to Tennessee Code Annotated (TCA) § 12-12-106 and shall not utilize a subcontractor on that list.
  - i. TCA § 12-4-119, Contractors currently engaged in a boycott of Israel or who intend to engage in a boycott of Israel should not bid.
7. The following statement is (mark the one that is applicable) ☐ **True** ☐ **False**:  
The Proposer and/or any of the Proposer's employees, agents, independent contractors and/or proposed subcontractors have been convicted of, pled guilty to, or pled nolo contendere to a contract crime involving a public contract.
8. The person who signs this certification on behalf of the Proposer is legally empowered to bind the proposer to the provisions of this RFQ and a resulting contract.
9. The Proposer acknowledges receipt of Addendum:

Addendum number(s) and date(s): \_\_\_\_\_

**SIGNATURE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

Printed Name and Title: \_\_\_\_\_

END OF CERTIFICATION STATEMENT

<b>PROPOSER NAME:</b>	
<b>TECHNICAL PROPOSAL SECTION B: QUALIFICATIONS AND EXPERIENCE</b>	<b>Proposal Page Number (By Proposer)</b>
<b>B.1</b> Provide a brief statement indicating Proposer's credentials to deliver the services required by this RFQ. Name the office location(s) providing services and number of employees in each. Provide Proposer's insurance experience modification rate for the last three years.  5 points	
<b>B.2</b> Provide summary information for each of no more than three projects of similar scope and complexity constructed in the past ten years or is being constructed by Proposer. Format information as shown after this Section B on no more than one page for each project.  15 points	
<b>B.3</b> List contracts with the State of Tennessee including current contracts and contracts completed within the past five years.  5 points	
<b>B.4</b> Provide resumes of no more than one page each for the project executive, project manager(s), and superintendent(s). Include job title, education, professional license or registration, general employment history, and relevant project experience and project roles. Provide two references for the project manager(s) and superintendent(s) with names and contact information.  15 points	
<b>B.5</b> Provide a table identifying the personnel named in B.4 assigned to projects named in B.2 and their job titles for those projects.  10 points	
<b>B.6</b> Provide a table identifying the estimated amount of time in hours per week that each of the key personnel identified in B.4 will be committed to this project.  10 points	
Section B: 60 points	

BEST VALUE OPTION 1 RFQ PROJECT SPECIFIC DOCUMENTS – TECHNICAL PROPOSAL

<b>PROPOSER NAME:</b>
<b>SIMILAR PROJECT INFORMATION</b> (In response to Technical Proposal Section B.2.)
Project Title: Client: Project City, State:
Client Contact and Title: Client Contact Telephone and Email:
Project Construction Start Date: Project Construction Completion Date:
Project Square Footage: Dollar Value of Project Construction:
Project Executive: Project Manager: Construction Superintendent:

Describe the project including the scope of the work and the services provided by Proposer. Relate the work in this project to the scope and services contained in the RFQ.

<b>PROPOSER NAME:</b>	
<b>TECHNICAL PROPOSAL SECTION C: TECHNICAL APPROACH</b>	<b>Proposal Page Number (By Proposer)</b>
<p><b>C.1</b> Provide a statement indicating how Proposer will deliver the construction services required by this RFQ. Include a project organizational chart designating the lines of authority.</p> <p>10 points</p>	
<p><b>C.2</b> Describe the methods to be used for the following construction services as applied to this Project.</p> <ol style="list-style-type: none"> <li>1. Tracking and reporting construction progress, schedule, conflict resolution, and accounting information</li> <li>2. Quality control program for construction</li> <li>3. Safety program for construction</li> <li>4. Project close-out procedures</li> </ol> <p>15 points</p>	
<p><b>C.3</b> Describe Proposer's experience implementing criteria for sustainable design and construction such as State of Tennessee High Performance Building Requirements, LEED, Green Globes or Energy Star.</p> <p>5 points</p>	
<p><b>C.4</b> If any work, regardless of dollar value, is required for the trades listed below, and if Proposer will not perform the work in that category with Proposer's own forces, identify one to three subcontractors in each category that are prequalified by your firm to serve as a subcontractor for this Project. Describe the qualifications for each that meet or exceed your prequalification requirements.</p> <ol style="list-style-type: none"> <li>1. Electrical</li> <li>2. HVAC</li> <li>3. Masonry</li> <li>4. Plumbing</li> <li>5. Roofing</li> <li>6. Landscaping</li> </ol> <p>The Owner reserves the right to request an AIA Document A305-1986 on a proposed subcontractor.</p> <p>10 points</p>	
Section C: 40 points	

<b>PROPOSER NAME:</b>	
<b>TECHNICAL PROPOSAL SECTION D: INFORMATION ONLY</b>	<b>Proposal Page Number (By Proposer)</b>
<p><b>D.1</b> Provide the following:</p> <p>(a) A description of the Proposer’s existing programs and procedures designed to encourage and foster commerce with business enterprises owned by minorities, women, persons with a disability and small business enterprises;</p> <p>(b) A listing of the Proposer’s current contracts with business enterprises owned by minorities, women, persons with a disability and small business enterprises;</p> <p>(c) An estimate of the level of participation by business enterprises owned by minorities, women, persons with a disability and small business enterprises in a contract awarded to the Proposer pursuant to this RFQ; and</p> <p>(d) The percent of the Proposer’s current employees listed by gender, noting ethnicity and disability.</p>	

Maximum Technical Proposal Score: 100 points.

Minimum required for qualification for an Invitation to Bid: 75 points.

END OF TECHNICAL PROPOSAL

## **2.3 PROJECT NARRATIVE AND DOCUMENTATION**

Designer of Record: Franklin Associates, Architects, Inc.  
Mechanical Engineer: Advanced Energy Engineering & Design, Inc.  
Electrical Engineer: Advanced Energy Engineering & Design, Inc.  
Plumbing Engineer: Advanced Energy Engineering & Design, Inc.  
Fire Protection Engineer: March Adams & Associates  
Structural Engineer: March Adams & Associates  
Civil Engineer: March Adams & Associates  
Landscape Architect: Ross Fowler, PLLC

### **Project Description**

The project will construct a new health science teaching facility and simulated lab space for the School of Nursing. It will be located at the corner of 3<sup>rd</sup> and Palmetto Streets in Chattanooga, Tennessee on the campus of the University of Tennessee at Chattanooga. The building will include state-of-the-art classroom spaces, student study spaces, administrative offices, and experiential learning spaces designed to mimic real-life scenarios within various healthcare settings. These spaces are designed to support the educational environments necessary for the School of Nursing. The building has a construction type, as defined by the International Building Code, of Type-II B, Fully Sprinklered. The primary structural frame is comprised of wide flange steel columns and beams with a composite concrete deck. The interior partitions and exterior walls are constructed of light-gauge metal studs. Concrete Masonry Units are used to construct stair cores, elevator shafts and foundation walls. The building is roofed with an 80 mil. Thermoplastic Polyolefin (TPO) roof, colored gray. The walls are clad with glass-fiber reinforced concrete (GFRC), brick, and metal panel. The exterior glazing is curtain wall and storefront. The building has been designed to the 2021 International Code Council suite of codes as adopted by the State of Tennessee.

The following outlines the work included:

### **Site Design:**

- The proposed sitework includes utility connections for domestic water, fire, sewer, and electrical services in the new building.
- The underground scope includes a storm drainage system with underground detention.
- Site hardscape includes retaining walls, concrete sidewalk, pavers, and asphalt street repair.
- Decorative bollard and pedestrian lighting will follow walkways throughout the property.
- Tiered seating spaces created with retaining walls of varying heights will provide transition between building finish floor elevation and greenway elevation.

### **Building Exterior:**

- The exterior of the building is constructed of metal studs with 5/8" fiberglass mat-

BEST VALUE OPTION ONE RFQ PROJECT SPECIFIC DOCUMENTS –  
PROJECT NARRATIVE AND DOCUMENTATION

- faced gypsum sheathing.
- The building is clad with a mixture of brick, metal paneling, and glass-fiber reinforced concrete panels.
- Primary exterior wall assemblies will be handled as rainscreen systems with a combination of mineral wool insulation and fiberglass batt insulation.
- The exterior glazing systems are constructed of curtainwall and storefront. Basis of design is Kawneer with “Solarban 90” glazing.
- The roof system is 80 mil. Thermoplastic Polyolefin (TPO) on tapered polyisocyanurate insulation. Sloped to internal drains.

**Building Interior:**

LOBBY DESIGN

- The Student Commons will include seating for 60 to 70 persons and serve as a breakout area for the classrooms on the first floor. Feature walls facing the Student Commons and 3-story opening to consist of wood, acrylic, and felt materials. Glass display cases provide separation between student gathering space and circulation. Built-in seating to be provided at the perimeter of lobby. The ceiling in this space will consist of metal planks in decorative wood-look finish, and a monumental, sculptural light fixture. The floor finish, including ramps and steps, will be terrazzo with varying color selections supporting space identity and visual boundaries. Power will be utilized at key furniture settings. Entry points will include walk-off mats. Primary entrances will have pedestal mounted operators and one set of motorized doors at each entrance (3).

OPEN COLLABORATION AND STUDY ROOMS

- Open collaboration Areas will include acoustic grid ceilings with pendant-mounted linear LED lighting on dimmers and magnetically attached acoustic ceiling baffles. Flooring will be resilient sheet goods. Furniture in these locations will not be fixed; convenience outlets are to be provided at furniture. Study rooms will be fully enclosed spaces with glass sidelights and wood veneer doors. Ceiling will consist of Tegular Armstrong Ultima or equal acoustical panel ceilings with batt insulation above. Each room will have recessed LED can lighting on dimmers, and a pendant mounted decorative ring fixture. The flooring will consist of mid-to-high-grade carpet tile. Wall monitors and wall hung glass markerboards are to be provided at each enclosed study room. Furniture in these spaces will be flexible but require power.

PRIMARY BUILDING CIRCULATION

- Primary building circulation will include resilient flooring. The ceiling will be primarily acoustic ceiling panels with painted gypsum or wood-grain plastic laminate defining key entry areas. 25% of the walls will include a custom graphic wallcovering or large-scale decal, necessitating Level 5 drywall finish at these locations. Integrated corner guards to be provided at all outside corners.
- Feature department entrances: Portals defining entry points to key departments like Simulation suite on level 3, Task Training Labs on level 2, Standardized Patient suite on level 1, Dean’s office suite, and large classrooms on level 1 to include design features and branding. Recessed seating alcoves with upholstered built-in seating are provided at corridors adjacent to Levels 2 & 3 large classrooms.

DOORS AND FRAMES



BEST VALUE OPTION ONE RFQ PROJECT SPECIFIC DOCUMENTS –  
PROJECT NARRATIVE AND DOCUMENTATION

- Wood doors to be 1-3/4" thick. Exterior hollow metal doors shall be 14-gauge steel; others may be 16-gauge. Heavy doors, fire doors, and doors wider than 3'-0" must be installed using four heavy duty ball bearing butts. Steel door frames for openings wider than 3'-0", and all steel frames for exterior doors shall be constructed of 14-gauge material. Interior frames for doors narrower than 3'-0" may be constructed of 16-gauge material. All frames are to be fully welded and shall have double rabbeted profiles with equal sized rabbets.

ELEVATORS

- The project will consist of one 3500-pound capacity / 350 fpm passenger elevator and one 4500-pound capacity / 350 fpm service elevator. All elevator designs and installations to comply with all applicable codes and regulations. Contractor will be required to obtain the necessary operating permits prior to Substantial Completion. Provide elevator cab finish allowance for upper-range options available from manufacturer.

TOILET ROOMS

- Toilet Compartments: All toilet partitions are to be floor-mounted with overhead bracing solid core phenolic type toilet compartments and screen systems designed for long-term durability. Each toilet compartment is to be equipped with a coat hook, and with a double roll toilet tissue holder. Compartments in women's toilets are to be equipped with sanitary napkin disposal receptacles. Toilet and bath accessories soap dispensers, paper towel dispensers, toilet paper dispensers, tampon/sanitary napkin receptacles and trash receptacles to be stainless steel and recessed. Countertop to be solid surface with integrated lavatories. Flooring to consist of porcelain tile. Walls are to be tiled to ceiling. Toilet room vestibules are to receive recessed linear lighting, and tiled walls.

OPERABLE PARTITIONS

- For spaces that are dividable into two, an electrically operated vertical operable partition with STC 60 rating is to be provided. The basis of design is a Skyfold Zenith Premium 60. Finishes will include acoustic fabric and markerboard surface material.

SIMULATION SPACES + STANDARDIZED PATIENT + CLINICAL SKILLS / TASK TRAINING SPACES

- All finishes should be scrubbable and impact resistant. Rigid wall protection panels are to be provided on all walls within these areas, see next section.

WALL PROTECTION & FINISHES:

- Walls are to be painted in a water-based catalyzed epoxy in an "eggshell" finish. Wall protection should be provided where walls are exposed to potential bumping from equipment (i.e., carts, patient beds, mobile furniture, etc.). Wall protection to be Acrovyn panels and at a minimum of 60" AFF to top of panel, height to align with the top of the light switch cover plates, or as shown on elevations. Corner guards are to be provided at all exposed corners. Corner guards to be Acrovyn, and the top of the guard should align with the top of the wall protection.

CEILINGS:

BEST VALUE OPTION ONE RFQ PROJECT SPECIFIC DOCUMENTS –  
PROJECT NARRATIVE AND DOCUMENTATION

- The ceilings should be 10'-0" AFF unless noted otherwise and should be Armstrong Ultima Health Zone or equivalent with a gypsum board bulkhead at exterior curtainwalls or other design appropriate locations.

FLOORING:

- Flooring to be a resilient sheet good product with the basis of design being Nora Flooring Environcare with a 4 inch rubber cove base or equivalent. Various colors and patterns are used to define areas withing simulation spaces.

DOORS:

- Doors should be a solid core wood door with a natural finish veneer with sidelights and painted hollow metal frames or have an ICU slider in full glass. Each door should be prepared for electronic access.

WINDOW SHADES:

- All windows on exterior of the building to have soffit-mounted roller shades. Provide manual solar shades at offices. Provide motorized dual solar/blackout shades at all rooms with audio visual equipment. Controls are to be integrated with AV operator and wall switch at entrance door or behind lectern.

ONE-WAY WINDOWS

- Where one-way windows occur between simulation and control rooms, they should be one way mirror glazing.

MILLWORK:

- All millwork should be HPL plastic laminate product with a healthcare setting appropriate solid surface counter and undermount sinks.

ACOUSTICS

- All walls should go to the bottom of the structure and be insulated for acoustical privacy.

CONTRACTOR FURNISHED; CONTRACTOR INSTALLED EQUIPMENT

- Wall-mounted headwalls and bed locators. PTZ cameras, ceiling speakers, and wall-mounted monitors are to be provided. Cubicle curtain tracks, cubicle curtain separation, ceiling-mounted mannequin/patient lifts, and surgical or exam lights are to also be provided. Provide structural support for ceiling-hung patient lifts, exam lights, and surgical booms.

PATIENT HEADWALLS

- Basis of design is to be Amico "Majestic Series" recessed single horizontal headwalls. Headwalls should be 6'-0" (72") wide. Each headwall should have 1 Medical Air outlet, 1 vacuum outlet, and 1 Mock Oxygen outlet that provides compressed air at the outlet. Each headwall should have 1 simulated Nurse Call, 3 120v duplex outlets and 1 120v duplex outlet in red as a mock emergency outlet. Headwalls should have accessory rails, rail mounted storage basket, diagnostic equipment mounts, and be provided with a bed locator. Headwalls at Level 3 'Patient' rooms are to receive elevated finishes, consisting of HPL woodgrain plastic laminate and metal reveals.

#### WALL MOUNTED DIAGNOSTIC SYSTEMS

- Basis of design is Amico rail mounted diagnostic stations. Provide base station, specula dispenser, wall aneroid with basket, and Otoscope.

#### EXAM LIGHTS

- Basis of design is to be Amico “Gamma 60 LED Light”, rail mounted. Light is 120v, 50/60 hz, .77 amps. The arm is a spring balanced luminaire head with a keypad for light control.

#### SURGICAL BOOMS

- Basis of design is to be Amico “ice 30m” Boom Series 3, triple dual light (ice 30m) and 1 32” monitor arm. The second boom should be the Patient Lift Pendant with medical air, vacuum and mock oxygen outlets.

#### PATIENT LIFT

- Basis of design should be “GoLift 400” or larger. Contractor is to provide all structure and infrastructure required to support and operate.

#### CUBICLE CURTAINS

- Track and support infrastructure shall be provided by contractor. Cubicle curtain to utilize ceiling mounted track system.

#### HIGH DENSITY STORAGE

- Basis of design is Metro qwikTRAK Floor Track Shelving with Super Erecta Chrome Wire Shelves. 5'-0" w X 2'-0" d (60"x24") shelving units. (Unless size is otherwise noted). Shelving should allow for (1) 48" wide walkway in shelving array.

#### CLASSROOM ENVIRONMENTS

- Didactic environments will be designed for flexibility and active learning, with movable, stackable furniture, ample power, writable surfaces and have technology integrated to ensure that students are engaged in the process of learning through activities and/or discussion in class, as opposed to passively listening to an expert.
- Wall construction:
  - Classroom walls should extend up to structure and have batt insulation to minimize sound transmission to maximize acoustic fidelity.
- Finish:
  - To be painted in a zero VOC latex paint in “eggshell” finish. HPL plastic laminate with woodgrain-look and metal reveals to define teaching walls. Wall mounted acoustical treatments will be used to maintain acoustical fidelity in all didactic environments.
- Operable walls
- Flooring:
  - High grade carpet tiles for classrooms.
- Ceilings:
  - Height will vary and should be Armstrong Ultima or equivalent with a gypsum board bulkhead at exterior curtainwalls or other design appropriate locations.
- Classrooms to have dimmable light zones and settings.
- Doors:

## BEST VALUE OPTION ONE RFQ PROJECT SPECIFIC DOCUMENTS – PROJECT NARRATIVE AND DOCUMENTATION

- Should be a solid core wood door with a natural finish veneer with sidelights and painted hollow metal frames. Each door should be prepared for electronic access.
- Windows:
  - All windows on the exterior of the building to have soffit-mounted manual roller shades, automatic roller shades should be in any double height or hard-to-reach locations. Provide dual transparent and blackout shades at all classrooms located on an exterior wall.
- Learning Aids- Writable Surfaces and Displays:
  - Classrooms are to be provided with ample glass markerboards and projection screens. Cameras, microphones, and speakers will be placed strategically to facilitate remote learning.

### **Structural Design**

#### Codes and Standards

The design of the structural systems complies with the 2021 International Building Code (2021 IBC) and other items as required by local review authorities.

- 2021 IBC International Building Code
- ASCE 7-16 – Minimum Design Loads for Buildings and Other Structures
- AISC 341-16 – Seismic Provisions for Structural Steel Buildings
- AISC 360-16 – Specification for Structural Steel Buildings
- ACI 318-19 – Building Code Requirements for Structural Concrete
- TMS 402-2016 – Building Code Requirements for Masonry Structures
- AISI S100-16 - North American Specification for the Design of Cold-formed Steel Structural Members
- AISI S400-15 - Standard for Seismic Design of Cold-formed Steel Structural Systems

#### Seismic Design

Seismic design is based on the 2021 International Building Code and ASCE 7-22. The building is designed as a Risk Category III building with the following assumptions:

- Occupancy Category – III
- Site Classification – D
- Seismic Design Category – C
- $S_s$  Spectral Acceleration – 0.500g
- $S_1$  Spectral Acceleration – 0.130g
- Importance Factor,  $I$  – 1.25
- $S_{ds}$  – 0.360g
- $S_{d1}$  – 0.180g

#### Wind Design

Wind Design is based on the 2021 International Building Code and ASCE 7-16. The building is designed as a Risk Category III. Ultimate Wind Speed for the design is 111mph with an exposure factor of C.

BEST VALUE OPTION ONE RFQ PROJECT SPECIFIC DOCUMENTS –  
PROJECT NARRATIVE AND DOCUMENTATION

Snow/Frost Design

Snow Load is based on the 2021 International Building Code and ACSE 7-16. The building is designed as a Risk Category III, importance factor of 1.1. The snow load is 10psf, frost depth is 12”.

Live Load:

- Roof – 20psf
- Floor – 50psf min. with additional 20psf allowed for partitions
- Floor (corridors, stairs, assembly areas) -- 100psf
- Floor (storage areas) -- 125psf

Dead Load:

- Self weight of the structure
- Collateral Load – 10psf

Gravity and Lateral Load Systems:

The building is designed as a structural steel frame. Floor systems are composite steel beams and composite metal deck with concrete slabs. The roof system is steel beam girders, steel bar joists, and metal decking. The structural frame incorporates Concrete Masonry Unit (CMU) block foundation walls and shafts. Lateral load is resisted by CMU shear walls and concentric steel bracing. The building is founded on rammed aggregate piers with a safe bearing capacity of 5,000 psf.

Material Design Strengths:

- |  |   |
|--|---|
| • Structural Steel                     | ASTM A992 (50ksi)                               |
| • Steel Pipe                           | ASTM A53 Grade B (35ksi)                        |
| • Hollow Structural Steel (Tube Steel) | ASTM A500 Grade B (46ksi)                       |
| • Steel Plates, Angles, and Channels   | ASTM A36 – 36ksi                                |
| • High Strength Bolts                  | ASTM A325                                       |
| • Weld Steel                           | AWS Class E70XX                                 |
| • Light Gauge                          | 33ksi for 18ga/20ga<br>50ksi for 16ga/14ga/12ga |
| • Steel Angle                          | ASTM A36 – 36ksi                                |
| • Slab on grade Concrete               | 3,000 psi                                       |
| • Elevated Slab Concrete               | 3,000 psi                                       |
| • Wall and Column Concrete             | 4,000 psi                                       |
| • Footing Concrete                     | 4,000 psi                                       |

Special Inspections:

Special inspections are required to be performed in accordance with the 2021 International Building Code and the contract documents.

Structural Serviceability Limits:

Drift and deflection requirements are not to exceed those allowed by the 2021 International Building Code and ASCE 7-16.

**Mechanical:**

- Chilled Water System – Primary/Secondary system
  - (2) 200 ton air cooled chillers with screw compressors to be located in

BEST VALUE OPTION ONE RFQ PROJECT SPECIFIC DOCUMENTS –  
PROJECT NARRATIVE AND DOCUMENTATION

- mechanical yard.
  - o (2) 5 HP primary chilled water distribution pumps
  - o (2) 10 HP secondary chilled water distribution pumps
  - o 4" main distribution piping
- Heating Hot Water System – Primary/Secondary System
  - o (2) 4000 MBH Condensing Natural Gas Boilers
  - o Primary loop pumps included in boiler
  - o (2) 15 HP secondary heating hot water distribution pumps
  - o 4" main distribution piping
- Air Handling System – Central Air Handling Units with CHW and HHW coils
  - o (2) AHUs per floor for total of (6) AHUs in building
  - o Fully ducted supply and return ductwork to central mechanical rooms
  - o AHUs with supply and return fans within unit
  - o Unit airflows range from 7000 cfm to 17,000 cfm
- Variable Air Volume Boxes
  - o Provide 107 single duct terminal units with HHW reheat coils for zoning throughout the building
  - o Provide 2 fan powered terminal units with HHW reheat coils for atrium cooling
- Fan Coil units
  - o (3) CHW and HHW Fan Coil Units for open glass stairway
  - o (2) HHW Fan Coil Units for enclosed stairways
- Ductless Mini Splits
  - o (2) Ductless mini split indoor wall hung unit and cooling only outdoor unit to be provided for elevator equipment room and IT room
- Full Building Digital Control system to be installed and connected to campus wide system
  - o Control system shall be Trane or JCI no substitutions accepted.

**Plumbing:**

- Domestic Water –
  - a. Cold – 3" water service w/ (2) 2" backflow preventors. 3" CW to feed building.
  - b. Hot - 199.9 MBH PVI Boiler with internal storage. 1-½" HW to feed building.
- Natural Gas – 2 PSI gas service for 11,600 MBH load @ 150 ft.
- Medical Gas- A simulated medical gas system is being installed in the simulation classrooms and labs. The medical gas system will utilize a 6.5 hp vacuum pump and a 10 hp air compressor. These systems are being installed as if they were in a medical facility and all of the requirements from NFPA 99 will apply. Type K or L sealed copper tubing. Vacuum line is 2" leaving the pump. Compressed air is 2" leaving the compressor.
- Sanitary-
  - a. Underground – Solid core solvent welded PVC is being utilized. 6" building sewer.
  - b. Aboveground – No-Hub Cast Iron
- Storm-
  - a. Underground – Solid core solvent welded PVC is being utilized. 4" and 6" leaders.

BEST VALUE OPTION ONE RFQ PROJECT SPECIFIC DOCUMENTS –  
PROJECT NARRATIVE AND DOCUMENTATION

- b. Aboveground – No-Hub Cast Iron with insulated horizontal conductors and roof drain bodies.
- Plumbing Fixtures-
  - a. Water Closets – Floor mounted Zurn bowls and manual flush valves.
  - b. Urinals – Wall Hung Zurn body with hard wired sensor flush valve.
  - c. Lavatories – Bradley Verve in various bowl configurations. 1 & 3 bowl with Bradley Faucets
  - d. Sinks- There are a wide variety of sink types. All are undermount, wall-hung, or free standing. Kohler faucets per architect selections.

**Electrical:**

- Service and Distribution – Building will be fed from the Campus 15kV loop. 15kV Switch and new Pad Mounted transformer will be provided by others for installation under this bid package.
- The service will be 480V 3 phase with distribution throughout the building via a main electrical room on the 1<sup>st</sup> floor and smaller rooms on each floor for branch circuiting, lighting and general power. Major mechanical equipment will be fed with 480V and all lighting will be fed 277V with step down transformers utilized for 208/120V loads
- Lighting – LED Lighting throughout with campus standard nLight wireless lighting controls. Specialty lighting considerations in simulation areas. Site Lighting will adhere to campus standards for site and pedestrian lighting.
- Emergency Lighting – Emergency lighting will be handled by a life safety emergency generator and distribution.
- Fire Alarm System – An addressable voice evacuation / communication type fire alarm system will be installed.

**Fire Protection:**

- The fire protection system is to be a Class 1 automatic wet standpipe system with a 750 gpm fire pump.
- The glassed-in stairwell (S101) will only have a hose valve at level 1 per the fire marshal.
- All hydraulically calculated areas are to be ordinary hazard group 1 per fire marshal.
- A vault with double detector check valve is to be installed.
- A remote, standalone FDC is to be located near vault and route a 4" dry pipe to the system side of the fire pump.
- The atrium ceiling exceeds the NFPA 13 code height requiring sprinklers, therefore, no sprinklers are to be at atrium ceiling.
- No fire piping is to be routed above motorized Zenith partition equipment in Classroom 105 or 106.
- Exterior components are noncombustible and do not require a dry system.

**Sustainable Design:**

- This building meets the basic requirements for the State of Tennessee's High Performance Building Regulations (HPBR). The criteria are available to

BEST VALUE OPTION ONE RFQ PROJECT SPECIFIC DOCUMENTS –  
PROJECT NARRATIVE AND DOCUMENTATION

bidders. No additional certifications will be sought for this project.

**Anticipated Project Schedule:**

- Construction is anticipated to begin in mid to late July 2025 with an anticipated occupancy for the Fall Semester of 2027.

**Drawings Showing Design Intent**

- See the following attached drawings for design intent of the project only:

G003	Renderings
L301	Landscape Architecture
A001	Architectural Site Plan
A011	Composite Plan – Level 1
A012	Composite Plan – Level 2
A013	Composite Plan – Level 3
A014	Composite Plan – Roof
A301	East Elevation
A302	North Elevation
A303	West Elevations
A304	West Elevations
A305	South Elevations
A401	Elevator Plans and Sections
A402	Building Sections

**Estimated Construction Cost:**

- Bid Target is \$57,500,000.00

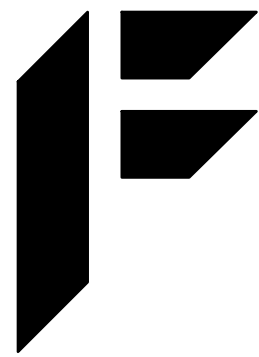








- GRADING NOTES**
1. STRIP ALL TOPSOIL AND ORGANIC MATERIAL AND UNSUITABLE SOIL WITHIN THE AREA TO BE GRADED.
  2. TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNERS REPRESENTATIVE. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS.
  3. FILL AREA SHALL BE PROOF-ROLLED PER SPECIFICATIONS.
  4. CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS PER SPECIFICATIONS.
  5. ALL FILL AREAS SHALL BE RAISED IN LIFTS NOT EXCEEDING 8 INCHES UNLESS OTHERWISE NOTED.
  6. ALL AREAS WILL BE GRADED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER.



franklin|architects

142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216

In association with:



Hellmuth, Obata & Kassabaum, Inc.

# HEALTH SCIENCES BUILDING

for

UNIVERSITY OF TENNESSEE AT CHATTANOOGA

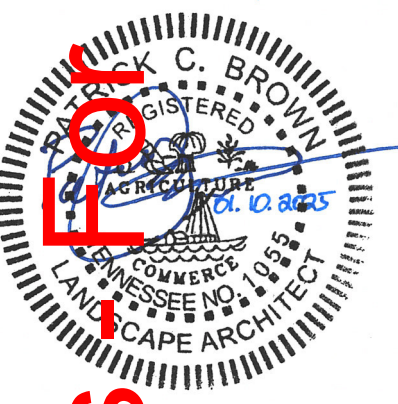
318 Palmetto St, Chattanooga, TN 37403



**ROSS/FOWLER**  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN & PLANNING  
5103 Kingston Pike Suite 105  
Knoxville, Tennessee 37919  
P. 865-637-1100 F. 865-637-1101

This drawing is the property of Franklin Associates Architects Inc. Any use, reuse, reproduction, display or sale of this drawing without the express written consent of the Architect is strictly prohibited.

Copyright © 2011 | franklin architects



Revisions		
No.	Issue	Date

--	--	--

Construction Documents

Sheet Information	
Date	01/10/2025
Job No.	7142
Title	

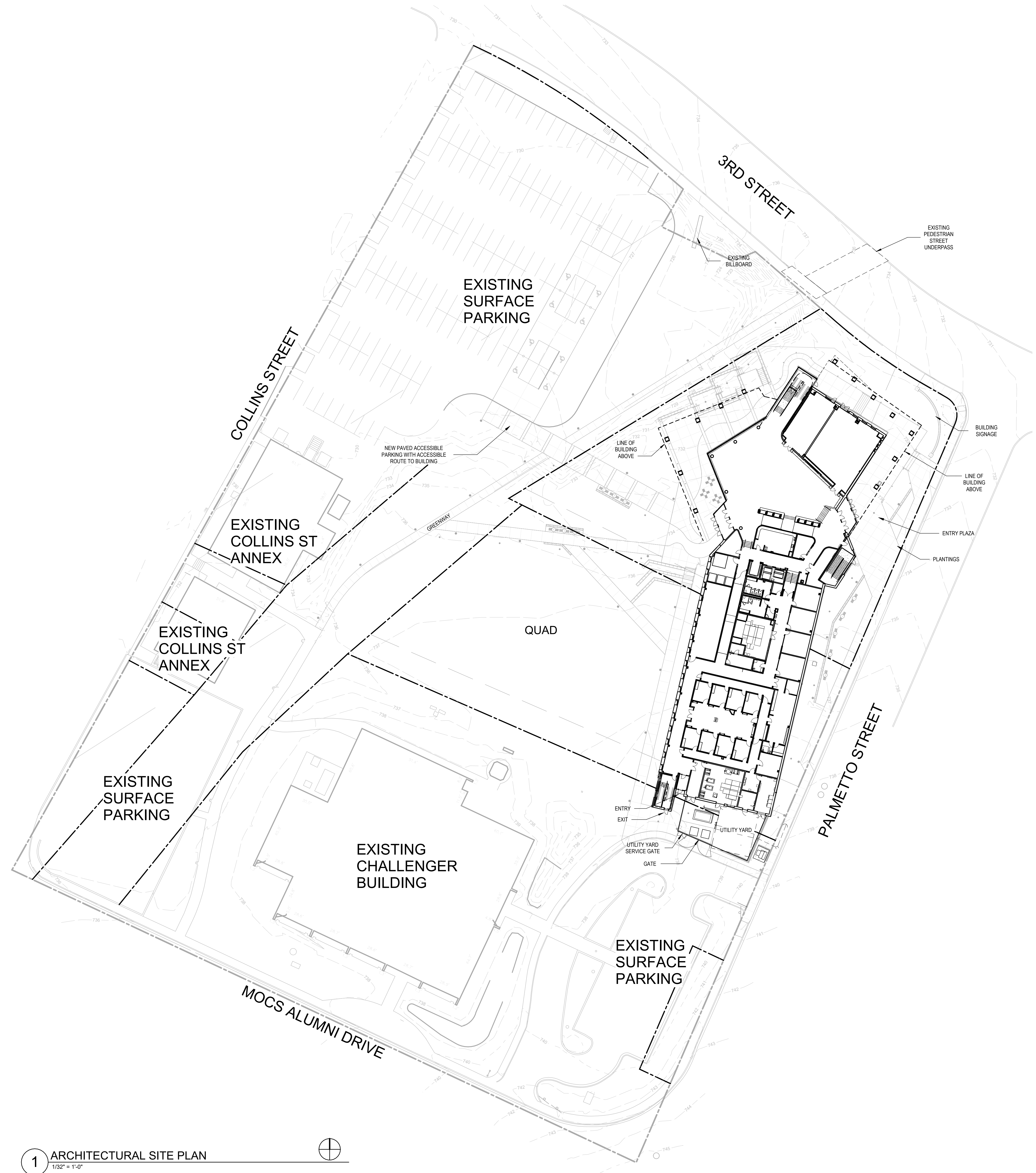
Landscape Architecture  
Grading Plan

Sheet

L301

Not Construction Documents, For Design Intent Only





1 ARCHITECTURAL SITE PLAN  
1/32" = 1'-0"



franklin|architects

142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216

In association with:



Hellmuth, Obata & Kassabaum, Inc.



## HEALTH SCIENCES BUILDING

for

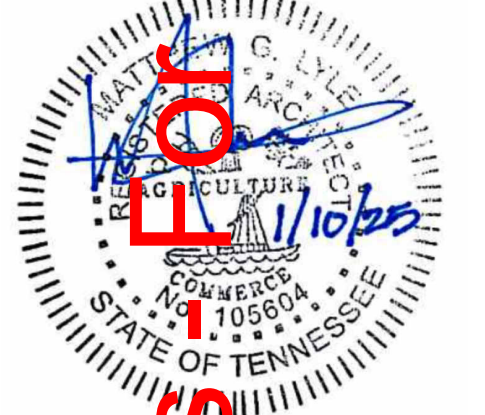
UNIVERSITY OF  
TENNESSEE AT  
CHATTANOOGA

318 Palmetto St, Chattanooga, TN 37403

Not Construction Documents - For Design Intent Only

This drawing is the property of  
Franklin Associates Architects Inc.  
Any use, reproduction, display  
or sale of this drawing without the  
express written consent of the Architect  
is strictly prohibited.

Copyright 2025 | franklin architects



Construction  
Documents

Revisions		
No.	Issue	Date

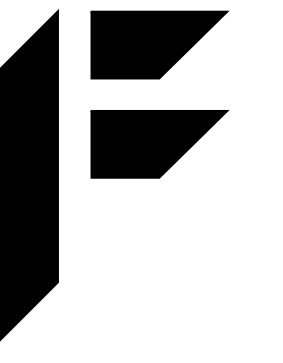
Sheet Information		
Date	01/10/25	
Job No.	7142	
	Title	

ARCHITECTURAL SITE  
PLAN

Sheet

A001





franklin | architects  
142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216



in association with:  
Hellmuth, Obata & Kassabaum, Inc.

# HEALTH SCIENCES BUILDING

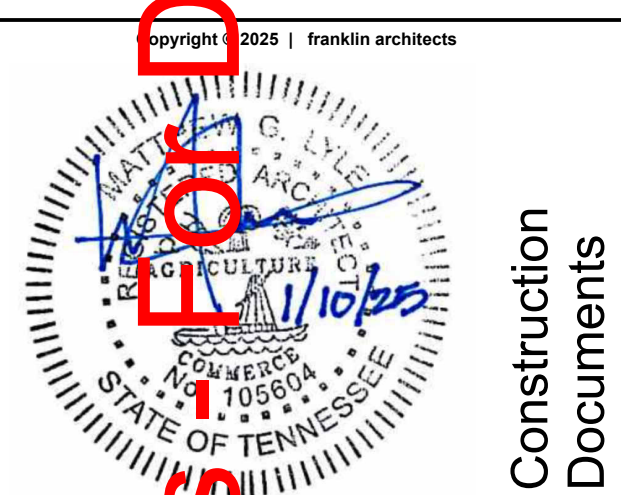
for

UNIVERSITY OF  
TENNESSEE AT  
CHATTANOOGA

318 Palmetto St, Chattanooga, TN 37403

Not Construction Documents - For Design Intent Only

This drawing is the property of  
Franklin Associates Architects Inc.  
Any use, reproduction, display  
or sale of this drawing without the  
express written consent of the Architect  
is strictly prohibited.



Construction  
Documents

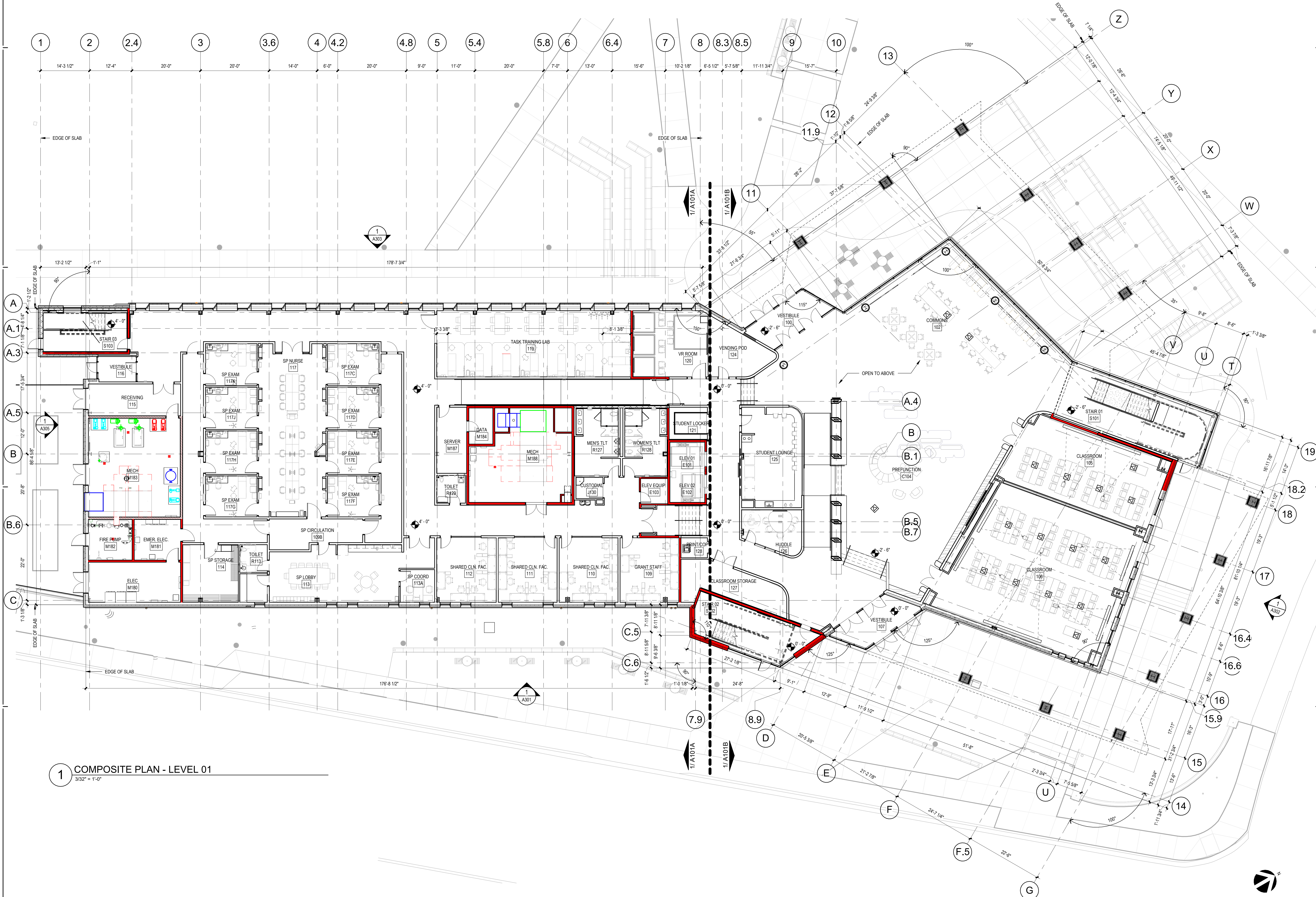
Revisions		
No.	Issue	Date

Sheet Information		
Date	01/10/25	
Job No.	7142	
	Title	

COMPOSITE PLAN -  
LEVEL 1

Sheet

A011



1 COMPOSITE PLAN - LEVEL 01  
3/32" = 1'-0"





franklin | architects

142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216

In association with:



Hellmuth, Obata & Kassabaum, Inc.



## HEALTH SCIENCES BUILDING

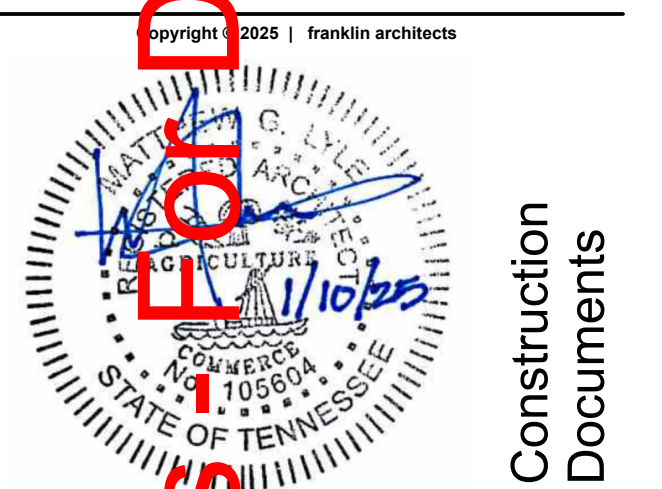
for

UNIVERSITY OF  
TENNESSEE AT  
CHATTANOOGA

318 Palmetto St, Chattanooga, TN 37403

Not Construction Documents - For Design Intent Only

This drawing is the property of  
Franklin Associates Architects Inc.  
Any use, reproduction, display  
or sale of this drawing without the  
express written consent of the Architect  
is strictly prohibited.



Construction  
Documents

Revisions

No.	Issue	Date
-----	-------	------

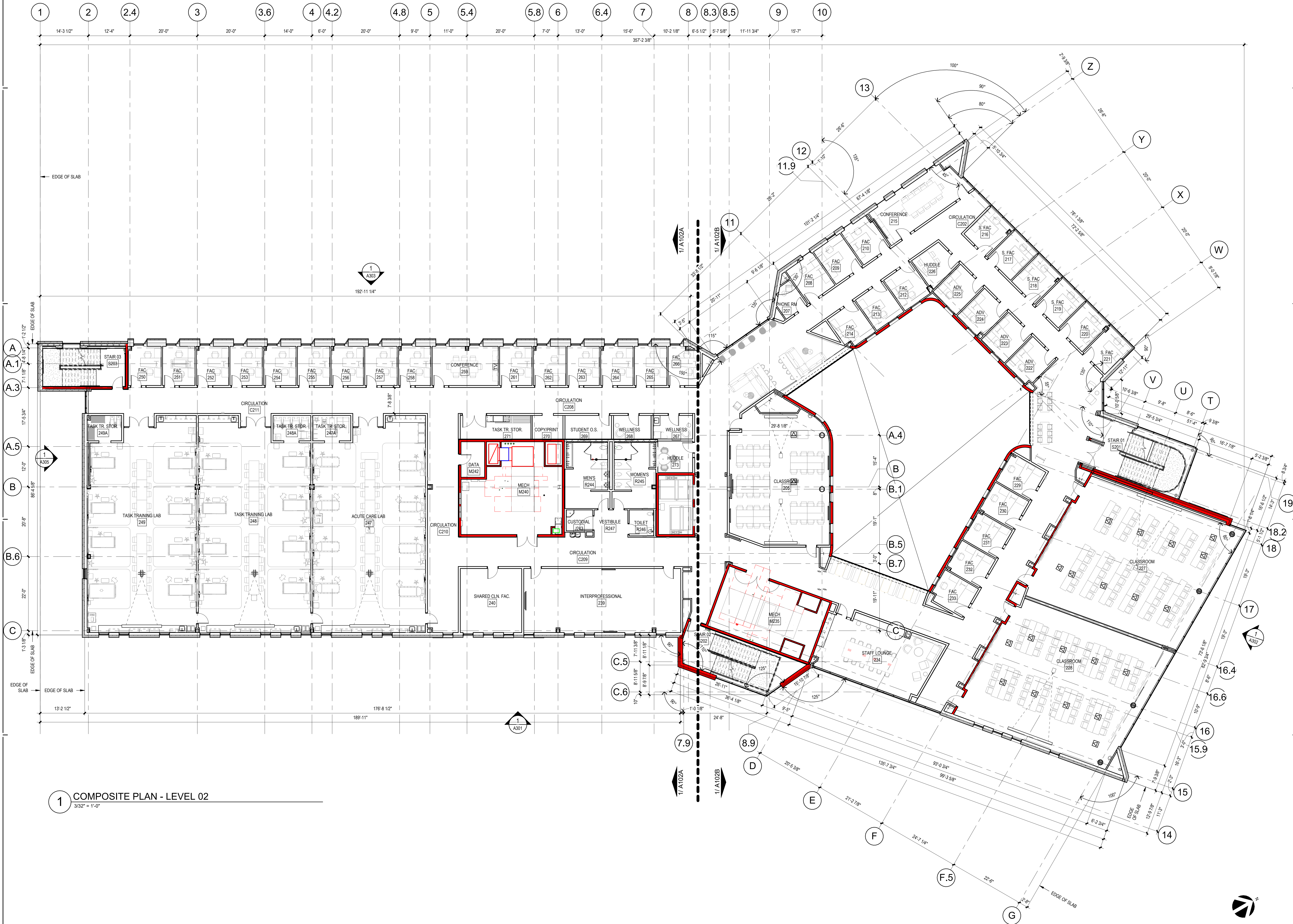
Sheet Information

Date	01/10/25
Job No.	7142
	Title

COMPOSITE PLAN -  
LEVEL 2

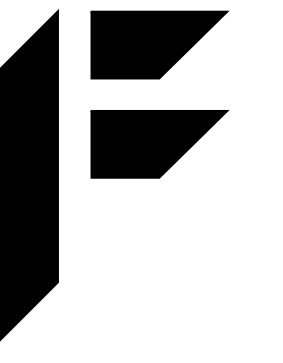
Sheet

A012



1 COMPOSITE PLAN - LEVEL 02  
3/32" = 1'-0"





franklin | architects  
142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216



Hellmuth, Obata & Kassabaum, Inc.

# HEALTH SCIENCES BUILDING

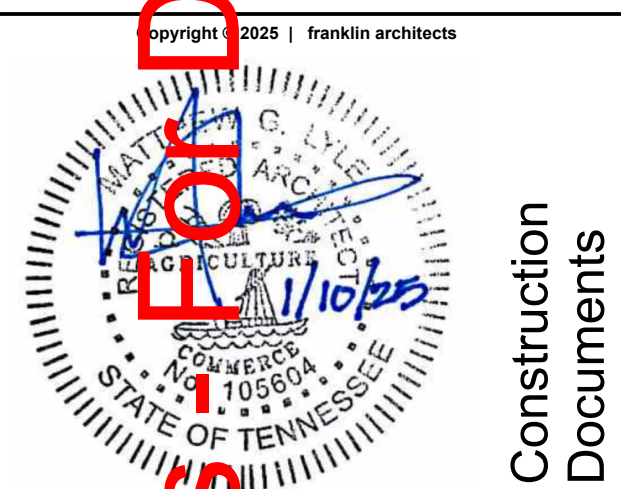
for

UNIVERSITY OF  
TENNESSEE AT  
CHATTANOOGA

318 Palmetto St, Chattanooga, TN 37403

Not Construction Documents - For Design Intent Only

This drawing is the property of  
Franklin Associates Architects Inc.  
Any use, reproduction, display  
or sale of this drawing without the  
express written consent of the Architect  
is strictly prohibited.



Revisions		
No.	Issue	Date

Sheet Information		
Date	01/10/25	
Job No.	7142	
	Title	

COMPOSITE PLAN -  
LEVEL 3

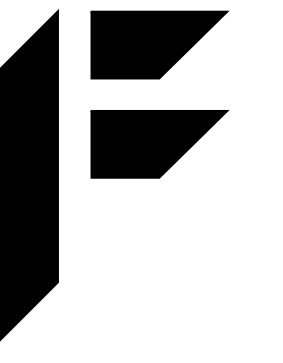
Sheet

A013



1 COMPOSITE PLAN - LEVEL 03  
3/32" = 1'-0"





franklin|architects

142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216

In association with:



Hellmuth, Obata & Kassabaum, Inc.



# HEALTH SCIENCES BUILDING

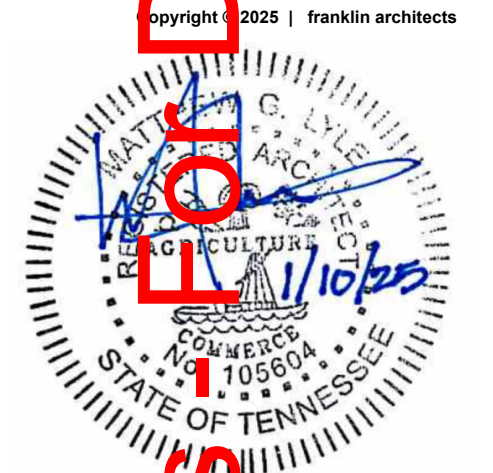
for

UNIVERSITY OF  
TENNESSEE AT  
CHATTANOOGA

318 Palmetto St, Chattanooga, TN 37403

Not Construction Documents - For Design Intent Only

This drawing is the property of Franklin Associates Architects Inc. Any use, reproduction, display or sale of this drawing without the express written consent of the Architect is strictly prohibited.



Construction Documents

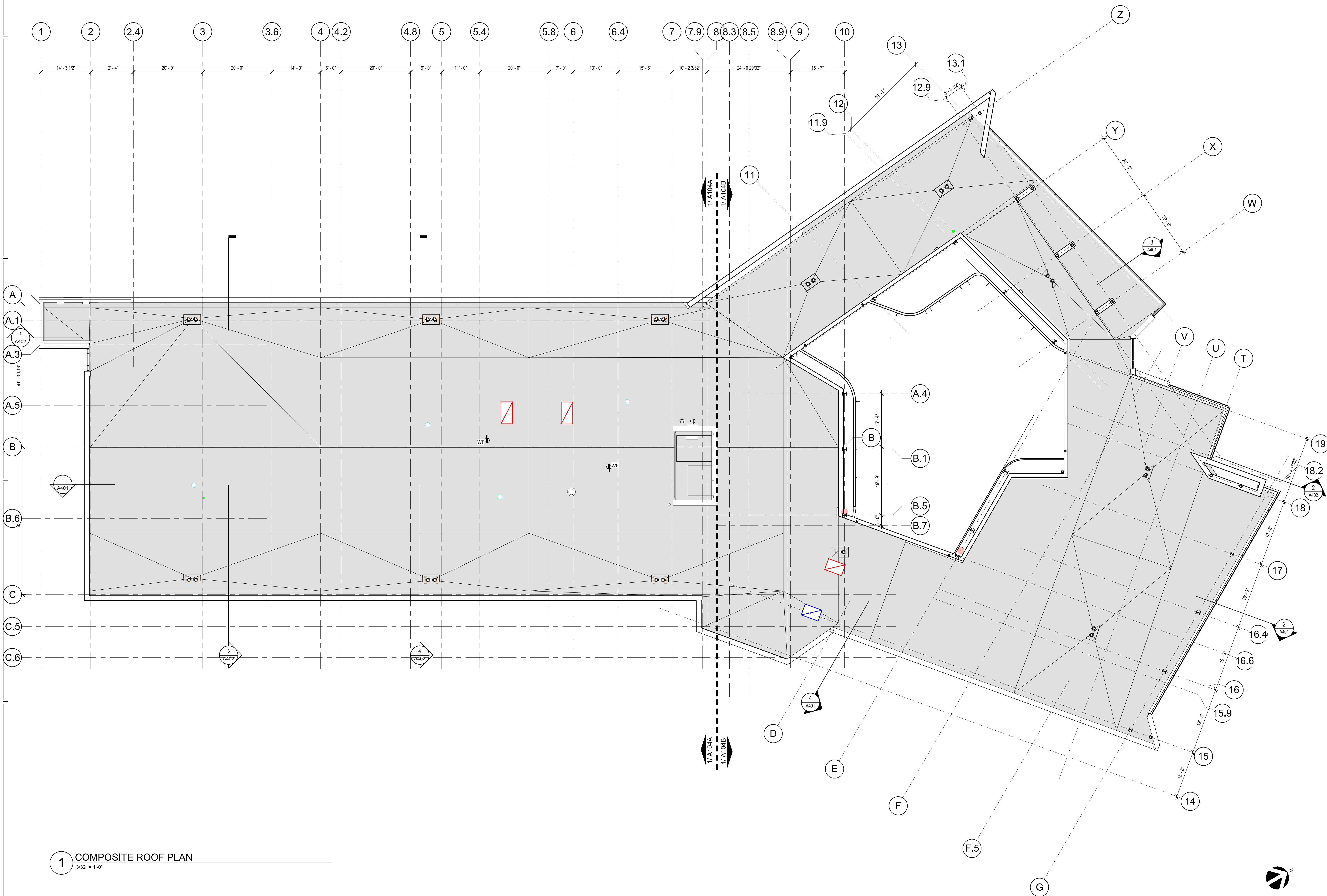
Revisions		
No.	Issue	Date

Sheet Information		
Date	01/10/25	
Job No.	7142	
	Title	

COMPOSITE PLAN -  
ROOF

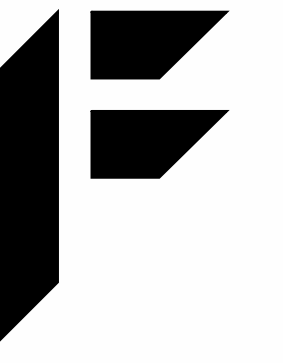
Sheet

A014



1 COMPOSITE ROOF PLAN  
3/32" = 1'-0"





franklin|architects  
142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216

In association with:



Hellmuth, Obata & Kassabaum, Inc.



# HEALTH SCIENCES BUILDING

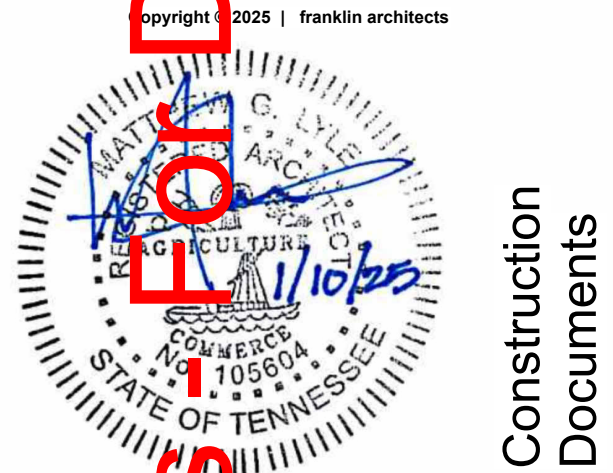
for

UNIVERSITY OF  
TENNESSEE AT  
CHATTANOOGA

318 Palmetto St, Chattanooga, TN 37403

Not Construction Documents For Design Intent Only

This drawing is the property of  
Franklin Associates Architects Inc.  
Any use, reproduction, display  
or sale of this drawing without the  
express written consent of the Architect  
is strictly prohibited.



Construction  
Documents

Revisions		
No.	Issue	Date

Sheet Information		
Date	01/10/25	
Job No.	7142	
	Title	

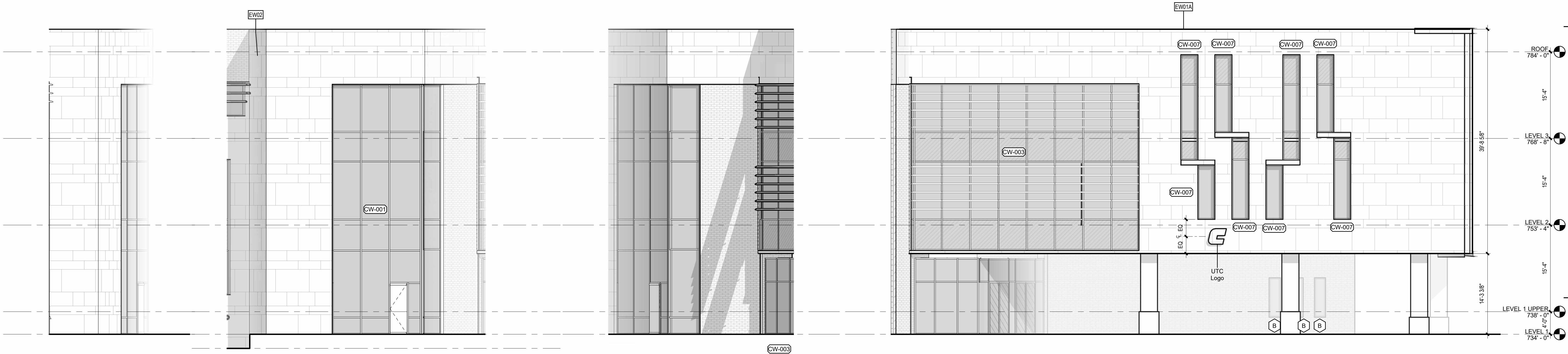
EAST ELEVATION

Sheet

A301

## EXTERIOR WALL LEGEND

EW01A: GLASS FIBER-REINFORCED CONCRETE RAIN SCREEN	EW04: CURTAINWALL SYSTEM - 6"
EW01B: GLASS FIBER-REINFORCED CONCRETE SOFFIT	EW05: CURTAINWALL SYSTEM - 6" WITH ALUMINUM SHADE
EW01C: GLASS FIBER-REINFORCED CONCRETE SOLAR SHADE	EW06: CURTAINWALL SYSTEM - 7.5"
EW02: EXTERIOR BRICK VENEER WALL SYSTEM	EW07: METAL PLATE RAINSCREEN OVER ROOF SYSTEM
EW03: METAL PANEL COLUMN WRAP	EW08: PROFILE METAL PANEL RAINSCREEN



5 EAST 2  
1/8" = 1'-0"

KEY PLAN

4 PARTIAL ELEVATION - EAST 3  
1/8" = 1'-0"

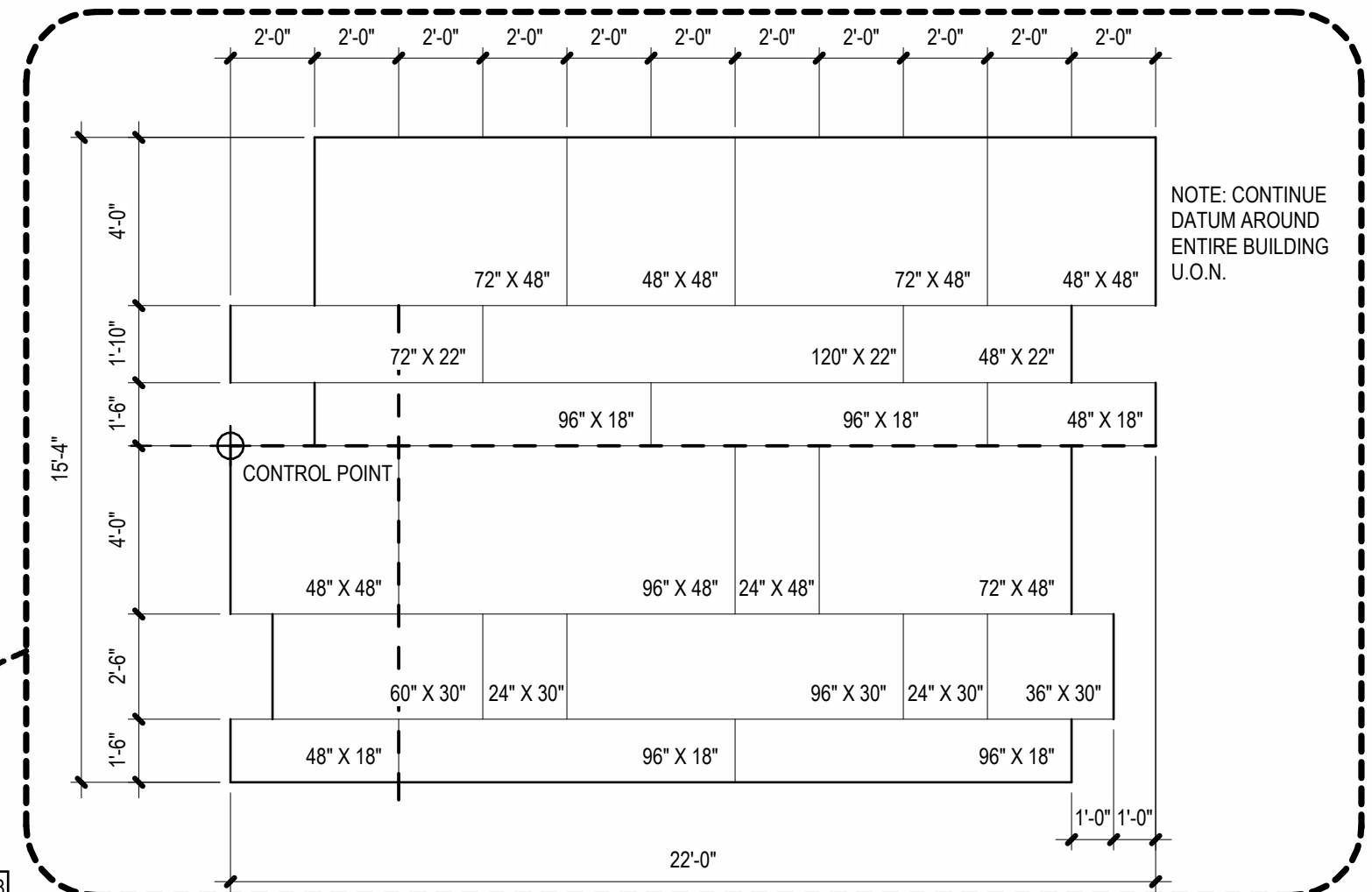
KEY PLAN

3 PARTIAL ELEVATION - EAST 4  
1/8" = 1'-0"

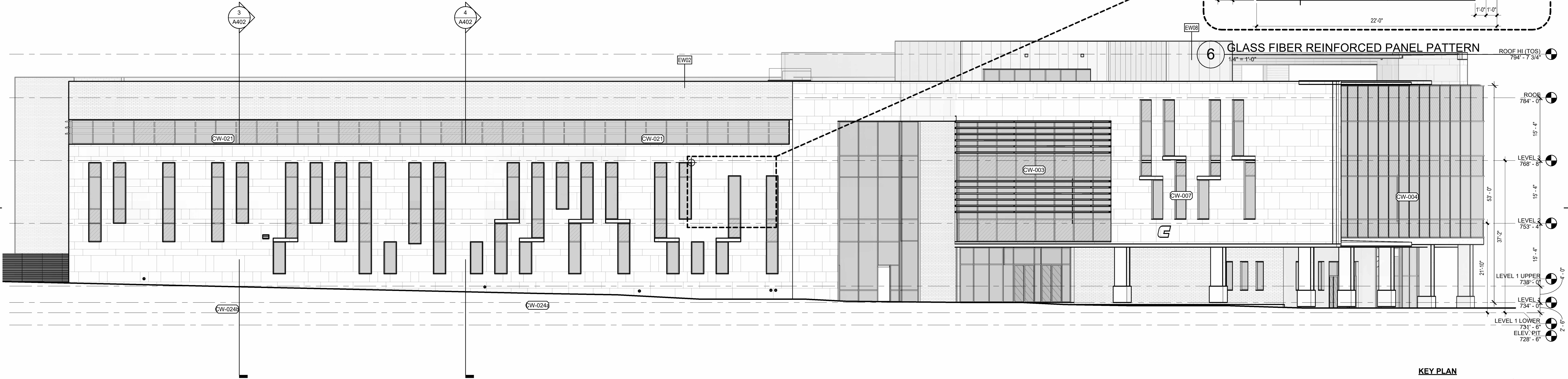
KEY PLAN

2 PARTIAL ELEVATION - EAST 5  
1/8" = 1'-0"

KEY PLAN

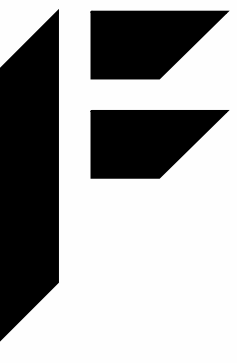


6 GLASS FIBER REINFORCED PANEL PATTERN  
1/4" = 1'-0"



1 COMPOSITE ELEVATION - EAST  
3/32" = 1'-0"





franklin|architects

142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216

In association with:



Hellmuth, Obata & Kassabaum, Inc.



## HEALTH SCIENCES BUILDING

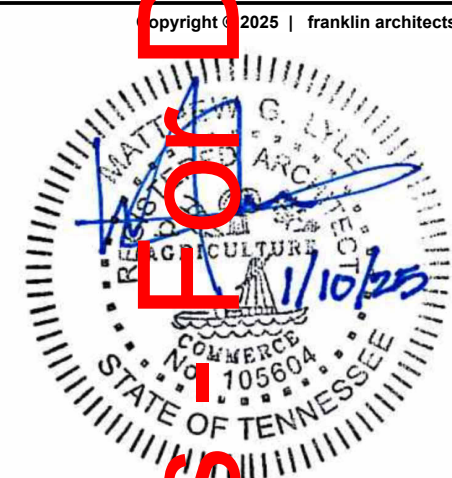
for

UNIVERSITY OF  
TENNESSEE AT  
CHATTANOOGA

318 Palmetto St, Chattanooga, TN 37403

Not Construction Documents For Design Intent Only

This drawing is the property of  
Franklin Associates Architects Inc.  
Any use, reproduction, display  
or sale of this drawing without the  
express written consent of the Architect  
is strictly prohibited.



Construction  
Documents

### Revisions

No.	Issue	Date
-----	-------	------

### Sheet Information

Date	01/10/25
Job No.	7142
Title	

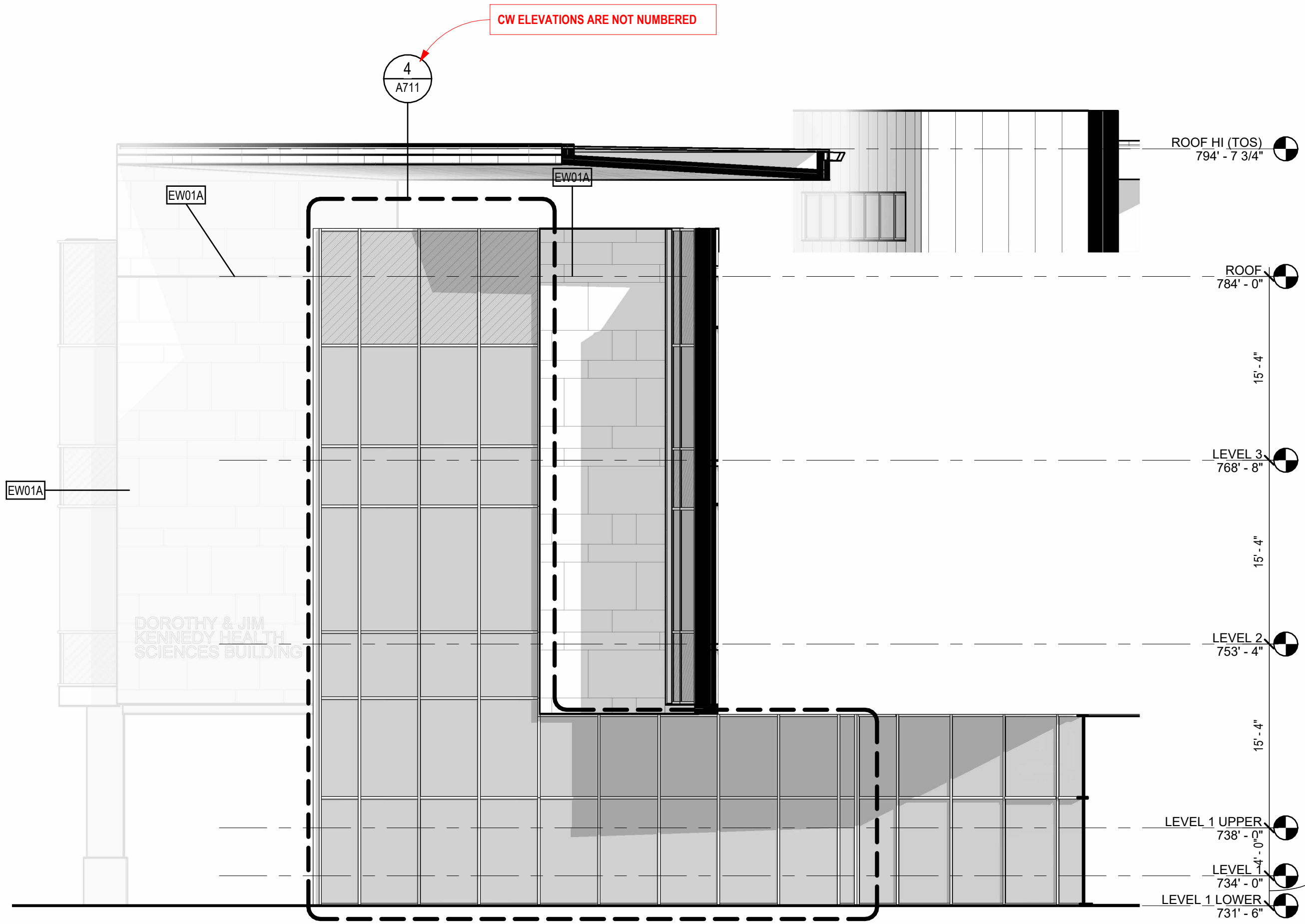
NORTH ELEVATION

Sheet

A302

### EXTERIOR WALL LEGEND

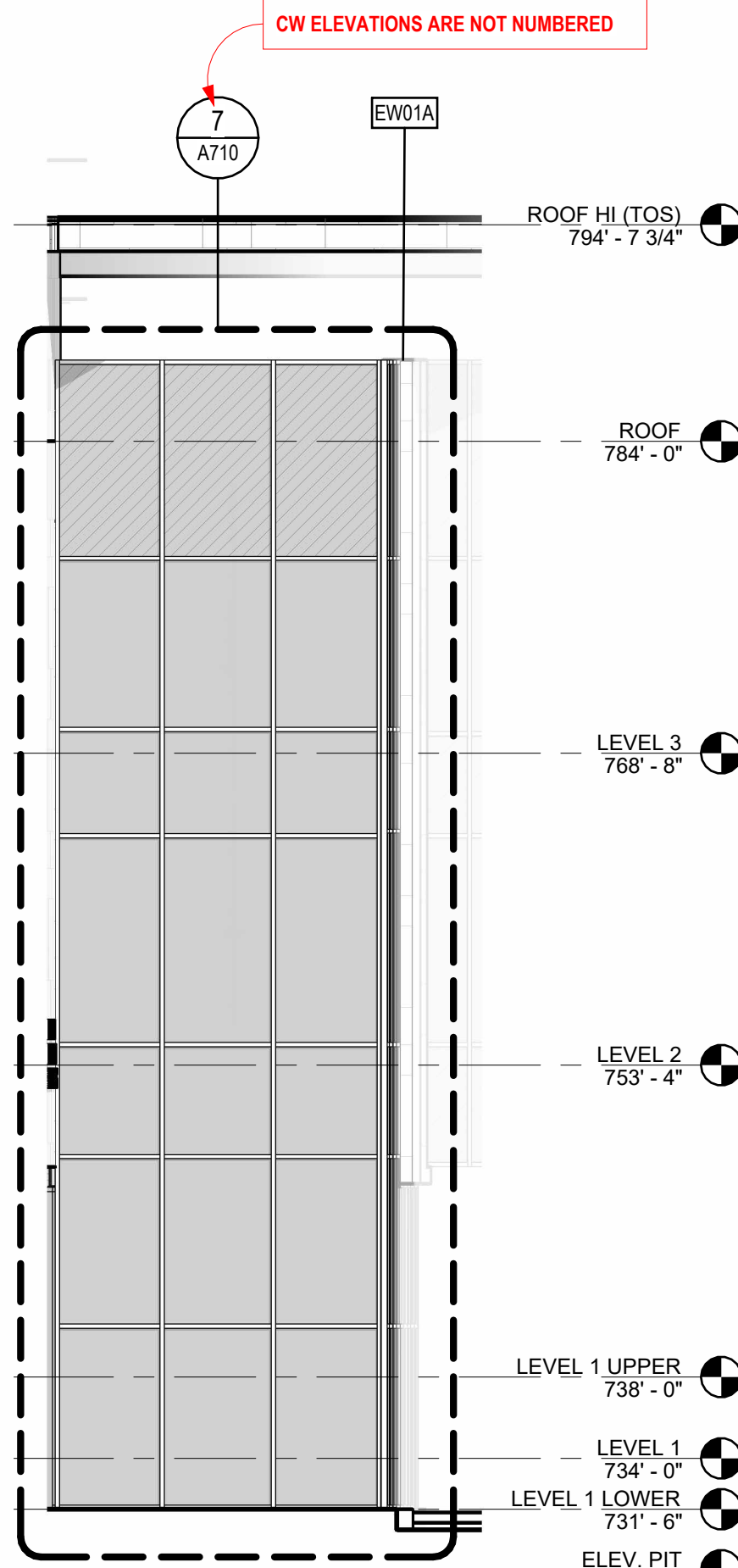
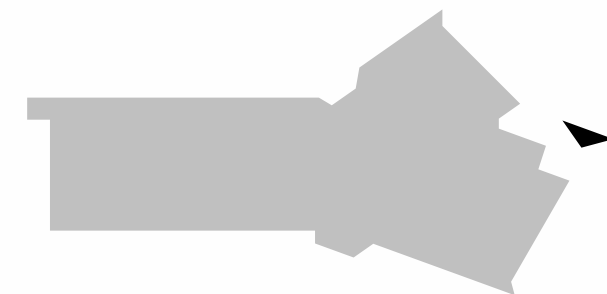
EW01A:	GLASS FIBER-REINFORCED CONCRETE RAIN SCREEN	EW04:	CURTAINWALL SYSTEM - 6"
EW01B:	GLASS FIBER-REINFORCED CONCRETE SOFIT	EW05:	CURTAINWALL SYSTEM - 6" WITH ALUMINUM SHADE
EW01C:	GLASS FIBER-REINFORCED CONCRETE SOLAR SHADE	EW06:	CURTAINWALL SYSTEM - 7.5"
EW02:	EXTERIOR BRICK VENEER WALL SYSTEM	EW07:	METAL PLATE RAINSCREEN OVER ROOF SYSTEM
EW03:	METAL PANEL COLUMN WRAP	EW08:	PROFILE METAL PANEL RAINSCREEN



5 PARTIAL ELEVATION - NORTH 3

1/8" = 1'-0"

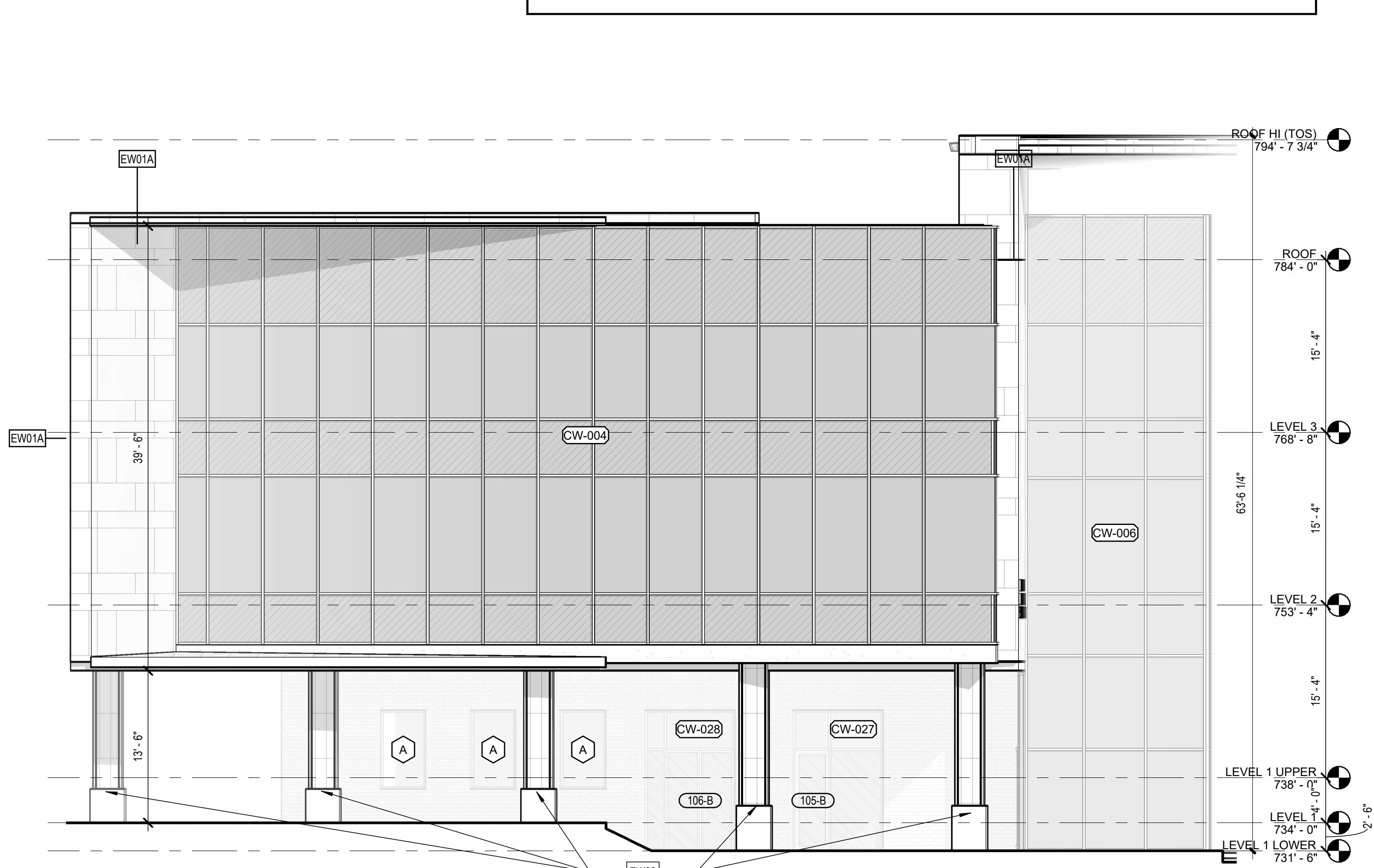
#### KEY PLAN



4 PARTIAL ELEVATION - NORTH 4

1/8" = 1'-0"

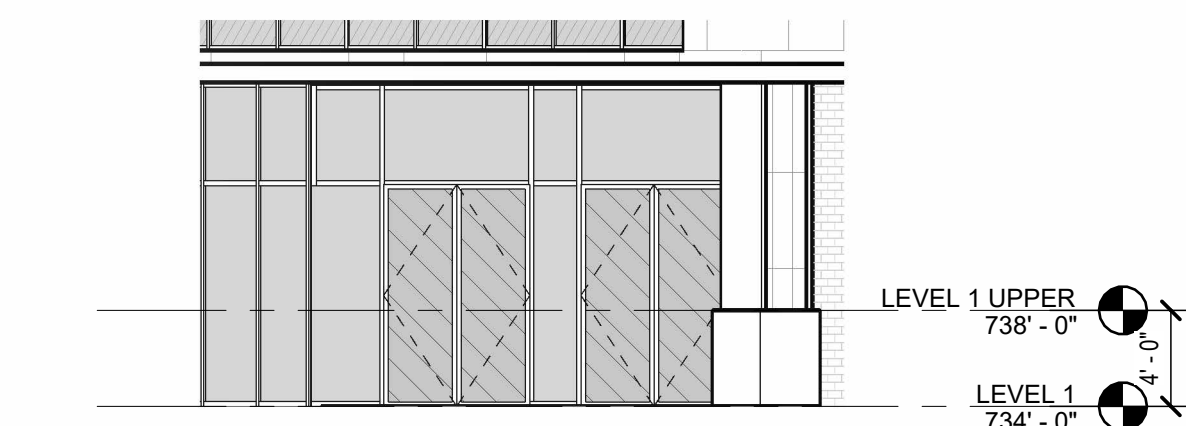
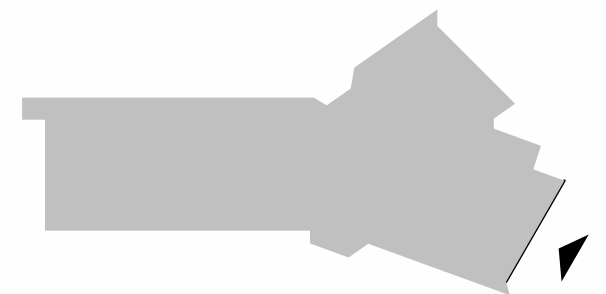
#### KEY PLAN



3 PARTIAL ELEVATION - NORTH 5

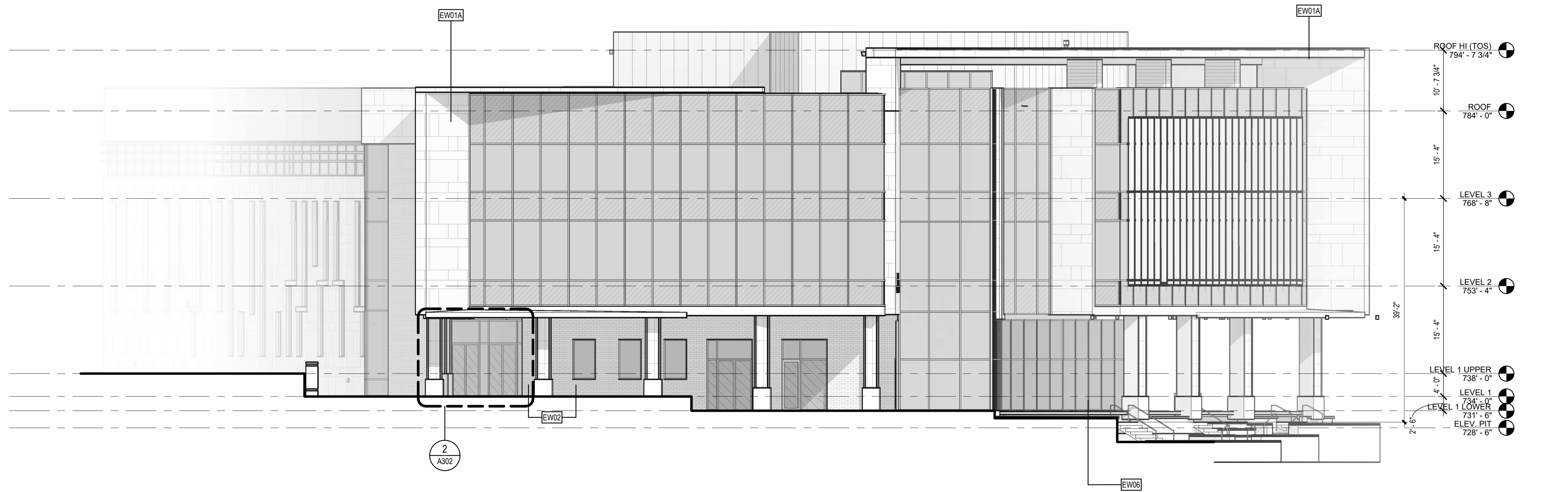
1/8" = 1'-0"

#### KEY PLAN



2 PARTIAL ELEVATION - NORTH 6

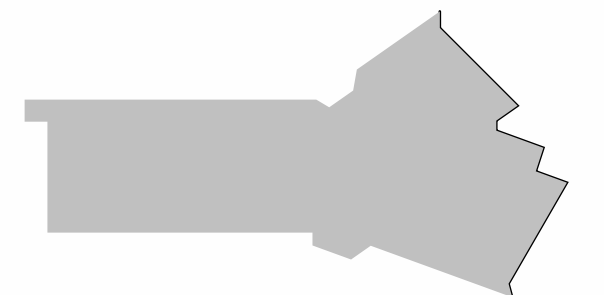
1/8" = 1'-0"



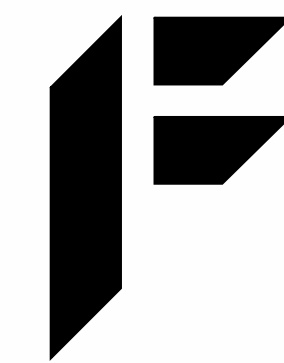
1 COMPOSITE ELEVATION - NORTH

3/32" = 1'-0"

#### KEY PLAN







franklin|architects

142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216

In association with:



Hellmuth, Obata & Kassabaum, Inc.



## HEALTH SCIENCES BUILDING

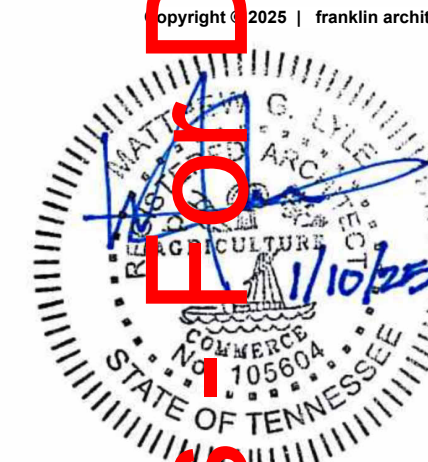
for

UNIVERSITY OF  
TENNESSEE AT  
CHATTANOOGA

318 Palmetto St, Chattanooga, TN 37403

Not Construction Documents For Design Intent Only

This drawing is the property of  
Franklin Associates Architects Inc.  
Any use, reproduction, display  
or sale of this drawing without the  
express written consent of the Architect  
is strictly prohibited.



Construction  
Documents

### Revisions

No.	Issue	Date
-----	-------	------

### Sheet Information

Date	01/10/25
Job No.	7142
Title	

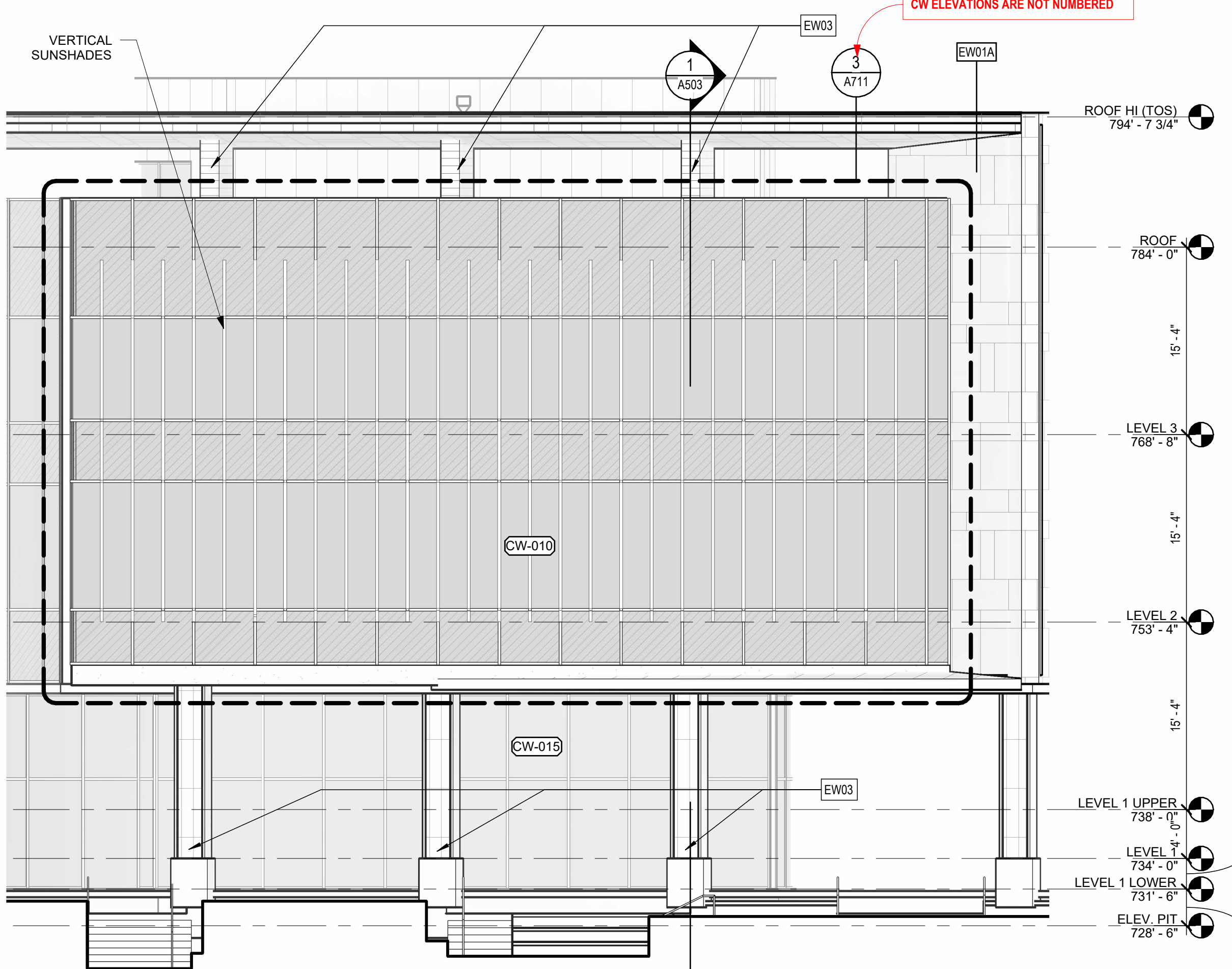
WEST ELEVATIONS

Sheet

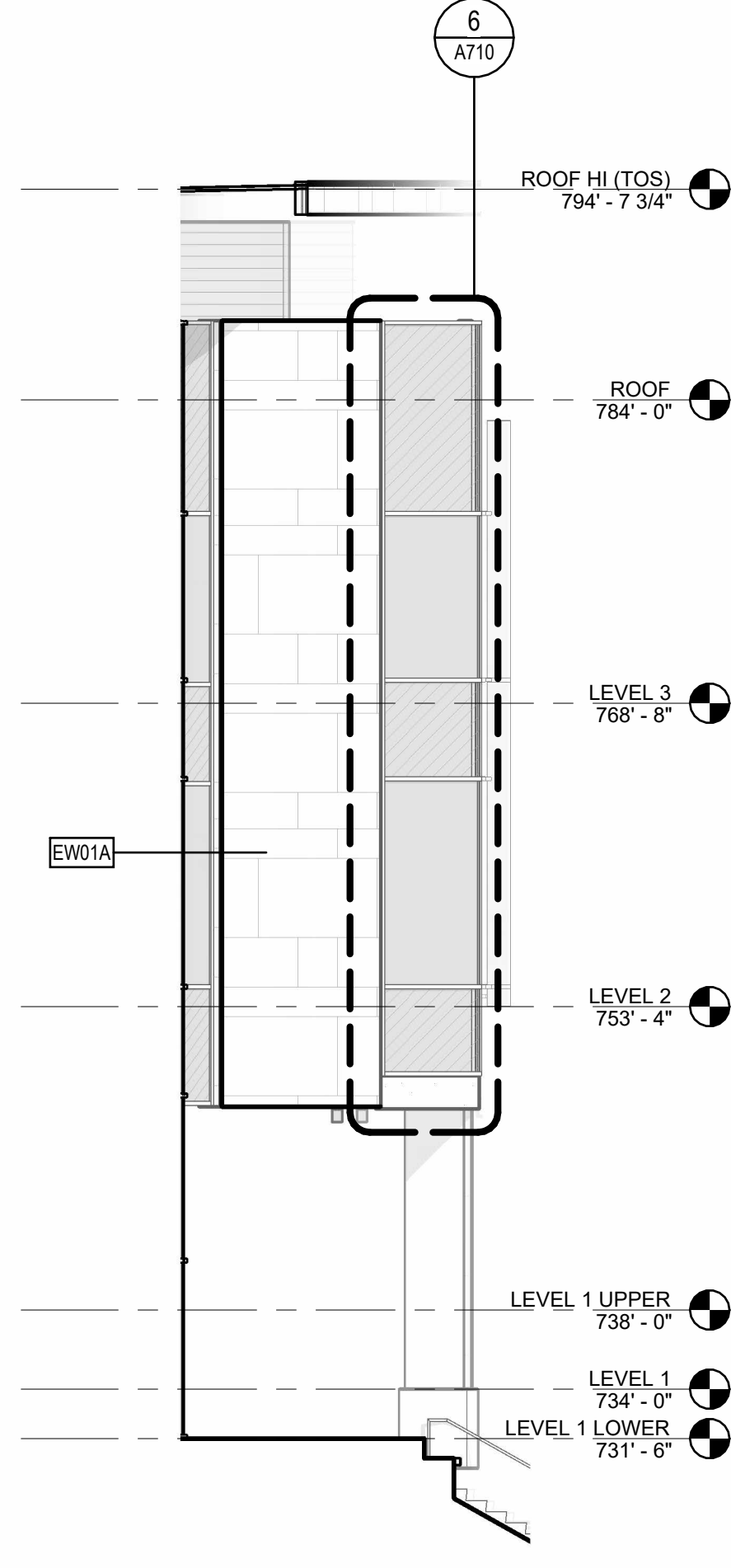
A303

### EXTERIOR WALL LEGEND

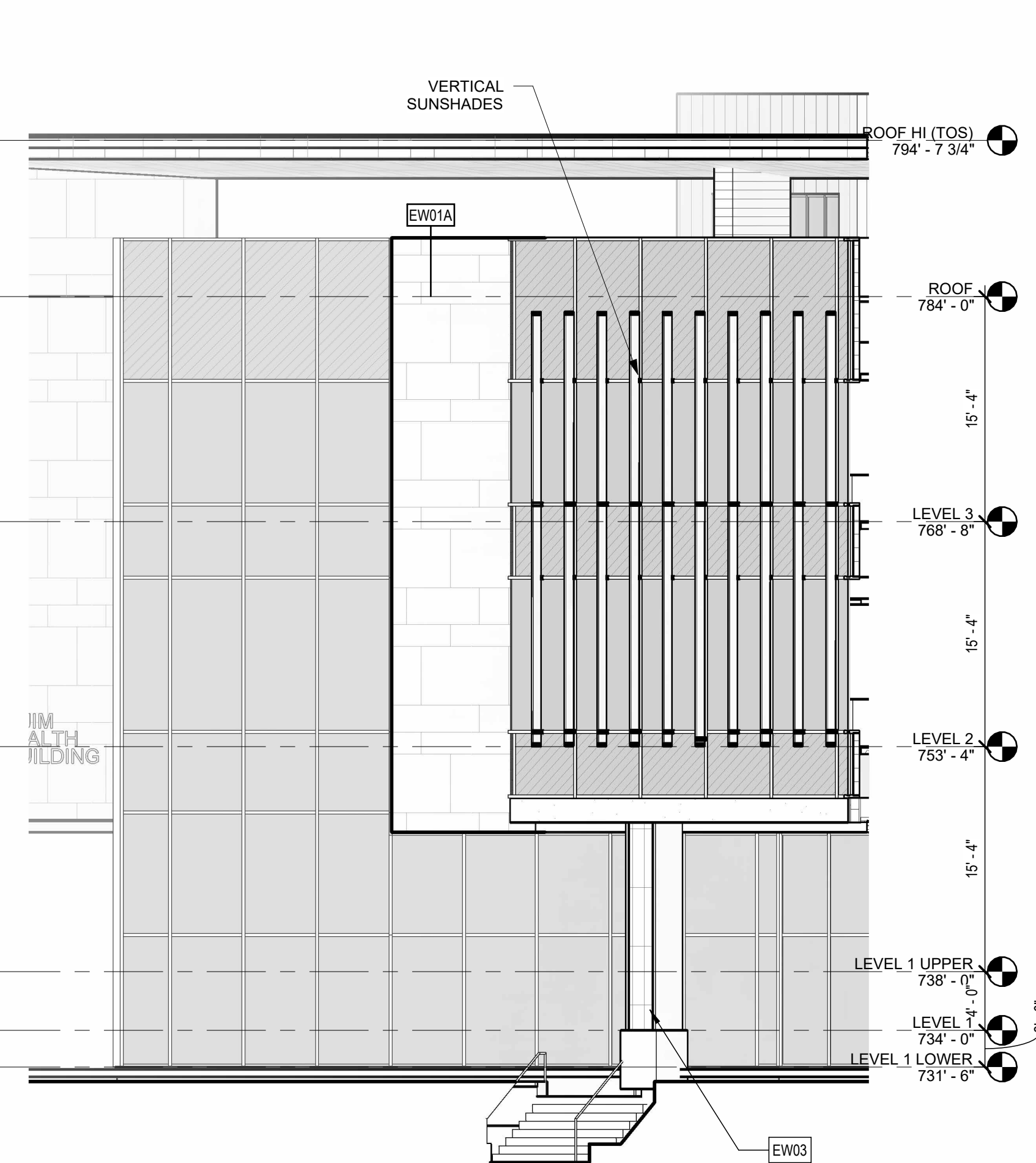
EW01A: GLASS FIBER-REINFORCED CONCRETE RAIN SCREEN	EW04: CURTAINWALL SYSTEM - 6"
EW01B: GLASS FIBER-REINFORCED CONCRETE SOFFIT	EW05: CURTAINWALL SYSTEM - 6" WITH ALUMINUM SHADE
EW01C: GLASS FIBER-REINFORCED CONCRETE SOLAR SHADE	EW06: CURTAINWALL SYSTEM - 7.5"
EW02: EXTERIOR BRICK VENEER WALL SYSTEM	EW07: METAL PLATE RAINSCREEN OVER ROOF SYSTEM
EW03: METAL PANEL COLUMN WRAP	EW08: PROFILE METAL PANEL RAINSCREEN



4 PARTIAL ELEVATION - WEST 2  
1/8" = 1'-0"



3 PARTIAL ELEVATION - WEST 1  
1/8" = 1'-0"

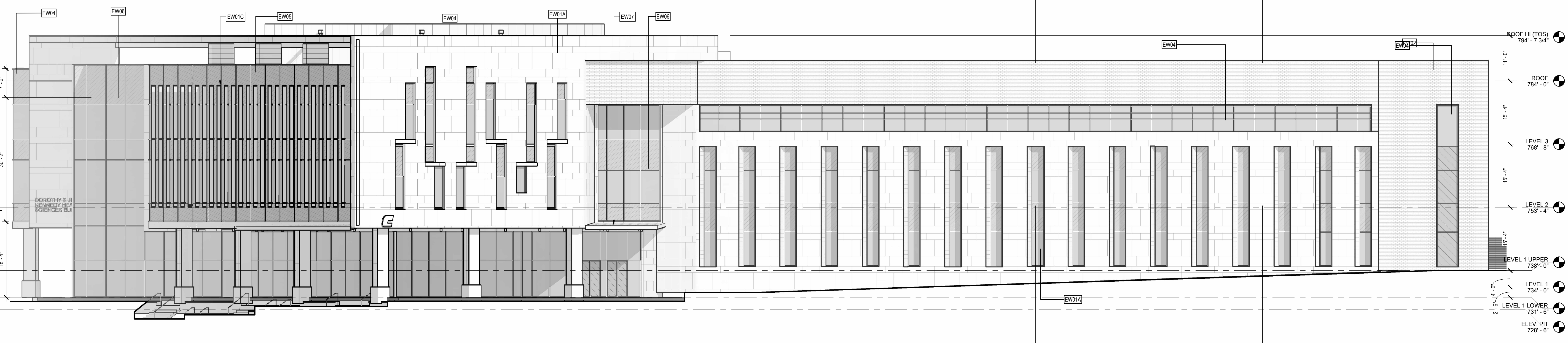


2 PARTIAL ELEVATION - WEST 3  
1/8" = 1'-0"

KEY PLAN

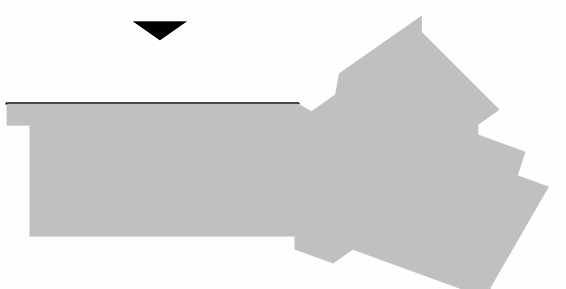
KEY PLAN

KEY PLAN



1 COMPOSITE ELEVATION - WEST  
3/32" = 1'-0"

KEY PLAN



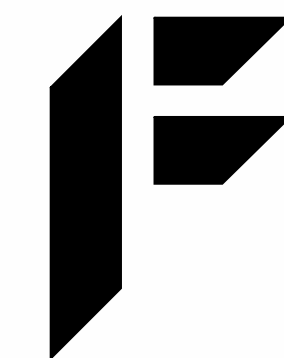






EXTERIOR WALL LEGEND

EW01A:	GLASS FIBER-REINFORCED CONCRETE RAIN SCREEN	EW04:	CURTAINWALL SYSTEM - 6"
EW01B:	GLASS FIBER-REINFORCED CONCRETE SOFFIT	EW05:	CURTAINWALL SYSTEM - 6" WITH ALUMINUM SHADE
EW01C:	GLASS FIBER-REINFORCED CONCRETE SOLAR SHADE	EW06:	CURTAINWALL SYSTEM - 7.5"
EW02:	EXTERIOR BRICK VENEER WALL SYSTEM	EW07:	METAL PLATE RAINSCREEN OVER ROOF SYSTEM
EW03:	METAL PANEL COLUMN WRAP	EW08:	PROFILE METAL PANEL RAINSCREEN



franklin|architects

142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216

In association with:



Hellmuth, Obata & Kassabaum, Inc.

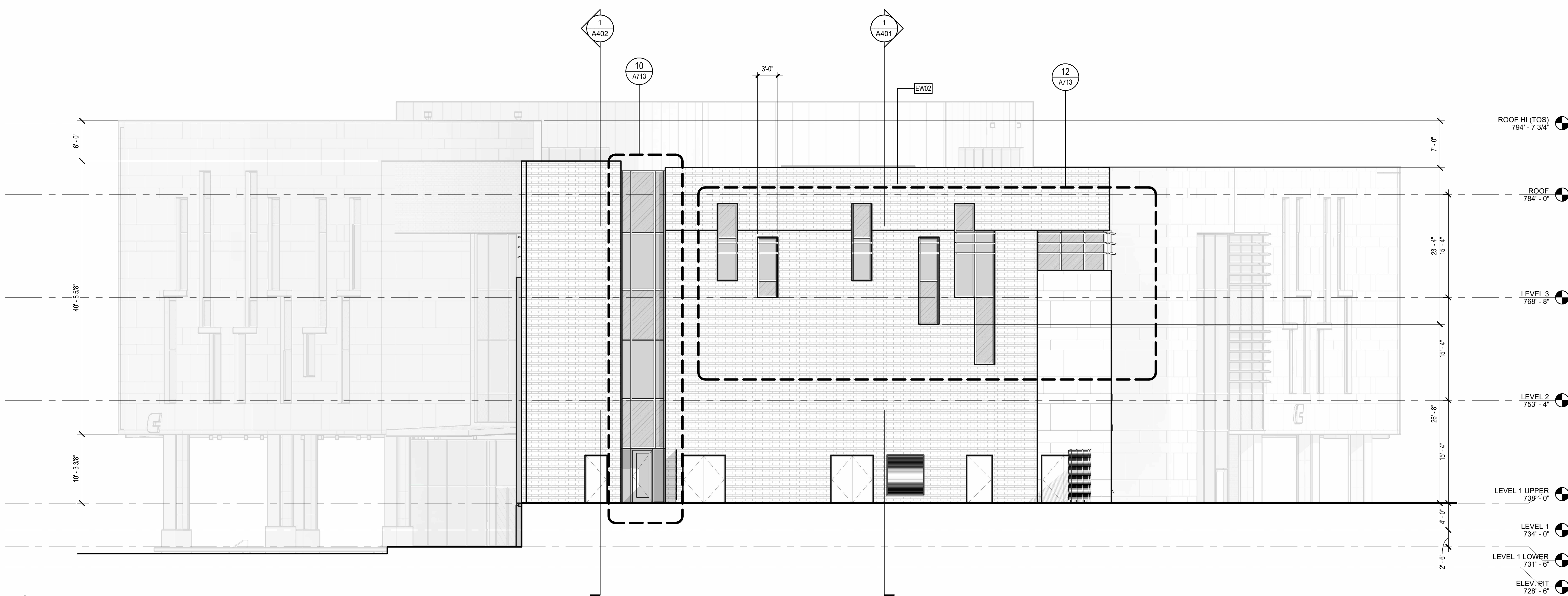


HEALTH  
SCIENCES  
BUILDING

for

UNIVERSITY OF  
TENNESSEE AT  
CHATTANOOGA

318 Palmetto St, Chattanooga, TN 37403

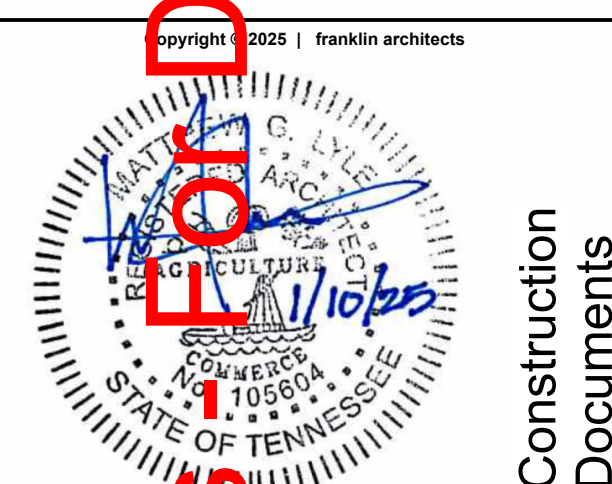


1 COMPOSITE ELEVATION - SOUTH  
1/8" = 1'-0"

KEY PLAN



This drawing is the property of Franklin Associates Architects Inc. Any use, reproduction, display or sale of this drawing without the express written consent of the Architect is strictly prohibited.



Construction Documents

Revisions		
No.	Issue	Date

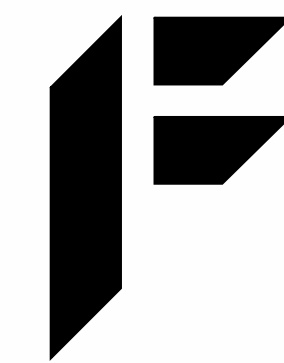
Sheet Information		
Date	01/10/25	
Job No.	7142	
	Title	

SOUTH ELEVATION

Sheet

A305





franklin|architects

142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216

In association with:



Hellmuth, Obata & Kassabaum, Inc.



## HEALTH SCIENCES BUILDING

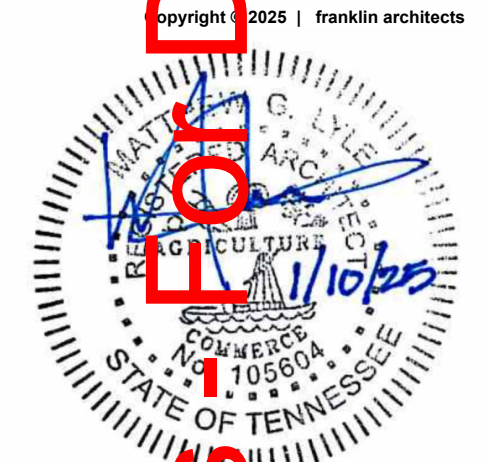
for

UNIVERSITY OF  
TENNESSEE AT  
CHATTANOOGA

318 Palmetto St, Chattanooga, TN 37403

Not Construction Documents For Design Intent Only

This drawing is the property of  
Franklin Associates Architects Inc.  
Any use, reproduction, display  
or sale of this drawing without the  
express written consent of the Architect  
is strictly prohibited.



Construction  
Documents

### Revisions

No.	Issue	Date
-----	-------	------

### Sheet Information

Date	01/10/25
Job No.	7142
	Title

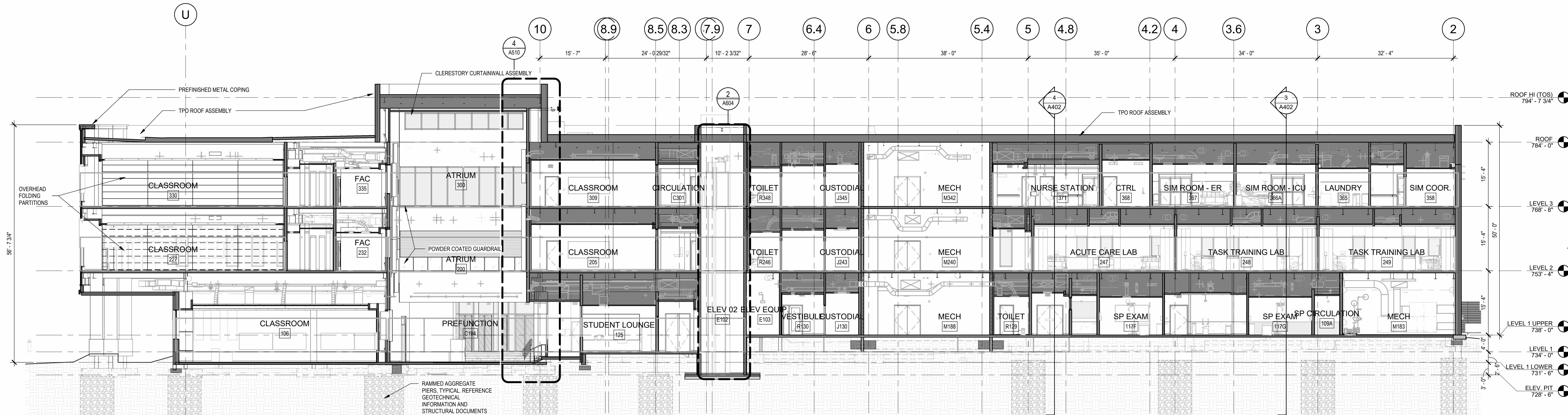
ELEVATOR PLANS  
AND SECTIONS

Sheet

A401

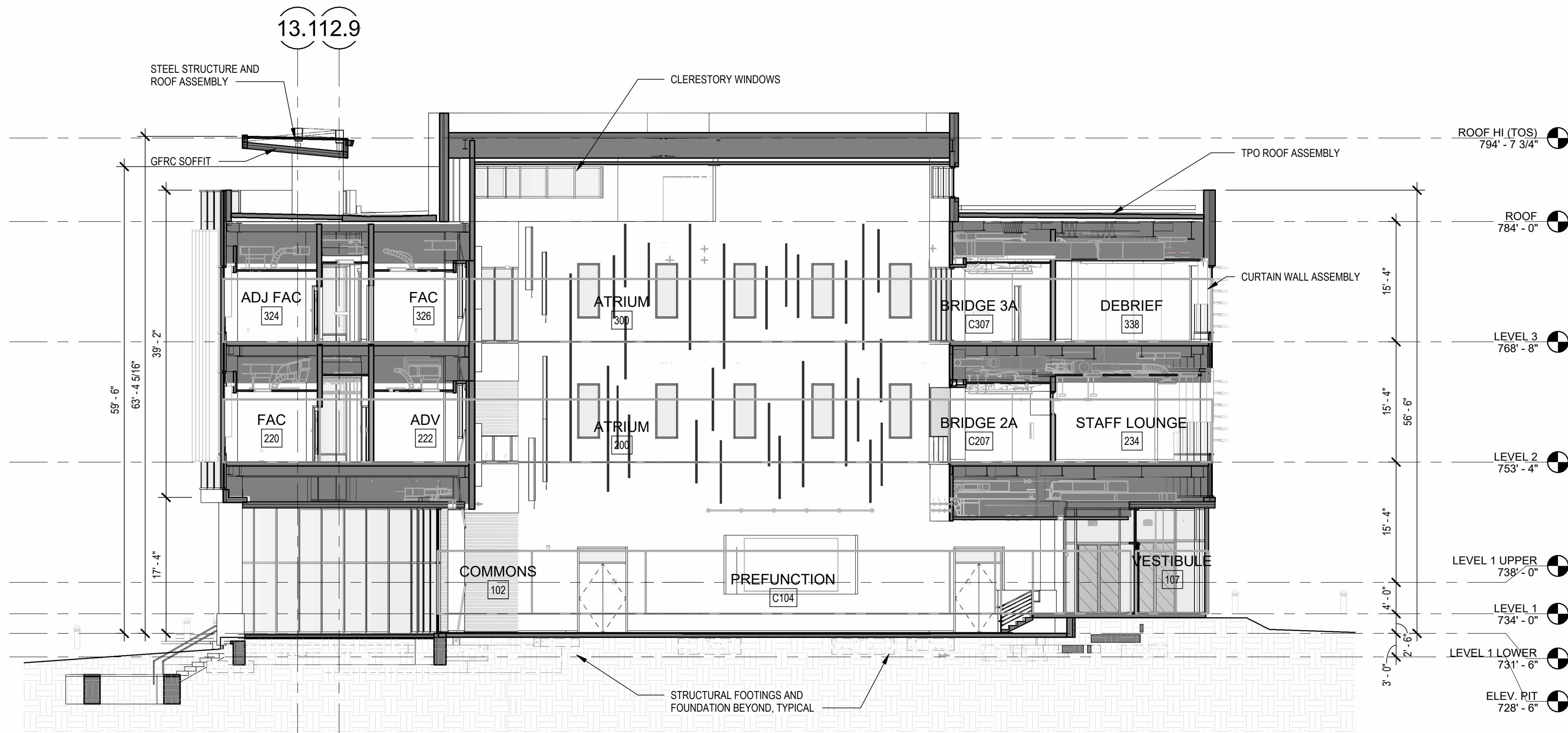
### EXTERIOR WALL LEGEND

EW01A: GLASS FIBER-REINFORCED CONCRETE RAIN SCREEN	EW04: CURTAINWALL SYSTEM - 6"
EW01B: GLASS FIBER-REINFORCED CONCRETE SOFFIT	EW05: CURTAINWALL SYSTEM - 6" WITH ALUMINUM SHADE
EW01C: GLASS FIBER-REINFORCED CONCRETE SOLAR SHADE	EW06: CURTAINWALL SYSTEM - 7.5"
EW02: EXTERIOR BRICK VENEER WALL SYSTEM	EW07: METAL PLATE RAINSCREEN OVER ROOF SYSTEM
EW03: METAL PANEL COLUMN WRAP	EW08: PROFILE METAL PANEL RAINSCREEN



2 BUILDING SECTION EAST B  
3/32" = 1'-0"

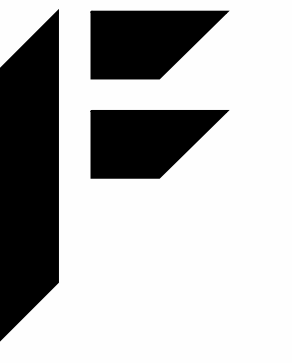
1 BUILDING SECTION EAST A  
3/32" = 1'-0"



3 BUILDING SECTION NORTH B  
3/32" = 1'-0"

4 BUILDING SECTION NORTH A  
3/32" = 1'-0"





franklin|architects  
142 N Market Street P.O. Box 4048  
Chattanooga, TN 37405  
v: 423.266.1207 f: 423.266.1216

In association with:



Hellmuth, Obata & Kassabaum, Inc.



# HEALTH SCIENCES BUILDING

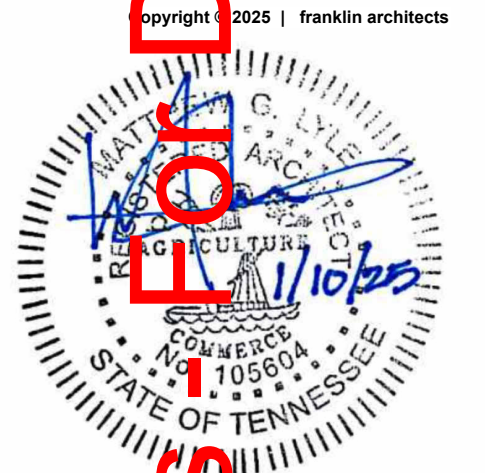
for

UNIVERSITY OF  
TENNESSEE AT  
CHATTANOOGA

318 Palmetto St, Chattanooga, TN 37403

Not Construction Documents - For Design Intent Only

This drawing is the property of  
Franklin Associates Architects Inc.  
Any use, reproduction, display  
or sale of this drawing without the  
express written consent of the Architect  
is strictly prohibited.



Construction  
Documents

Revisions		
No.	Issue	Date

Sheet Information		
Date	01/10/25	
Job No.	7142	
	Title	

BUILDING SECTIONS

Sheet

A402

## EXTERIOR WALL LEGEND

EW01A:	GLASS FIBER-REINFORCED CONCRETE RAIN SCREEN	EW04:	CURTAINWALL SYSTEM - 6"
EW01B:	GLASS FIBER-REINFORCED CONCRETE SOFFIT	EW05:	CURTAINWALL SYSTEM - 6" WITH ALUMINUM SHADE
EW01C:	GLASS FIBER-REINFORCED CONCRETE SOLAR SHADE	EW06:	CURTAINWALL SYSTEM - 7.5"
EW02:	EXTERIOR BRICK VENEER WALL SYSTEM	EW07:	METAL PLATE RAINSCREEN OVER ROOF SYSTEM
EW03:	METAL PANEL COLUMN WRAP	EW08:	PROFILE METAL PANEL RAINSCREEN

