

The University of Tennessee

REQUEST FOR QUALIFICATIONS:

Construction Procurement Through

Best Value Option One

for the

UTK Baker School Renovations (24/25)

540/009-08-2024

The University of Tennessee Knoxville

April 2, 2025

RFQ COORDINATOR:

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1.0 STANDARD DOCUMENTS

1.1 INTRODUCTION

A. Purpose

As identified on the cover page, the Owner has issued this Request for Qualifications (RFQ) for the designated Project. The RFQ defines service requirements; solicits proposals; details proposal requirements; and outlines the process for evaluating proposals and selecting and contracting with a contractor (Contractor) using the State of Tennessee's Best Value Option One (BV1) procurement delivery method. The BV1 method utilizes the process described in this RFQ to qualify proposers to identify a short list of contractors who are invited to bid. The Owner intends to contract with the responsive and responsible bidder offering the lowest cost for the work.

B. Scope of Services

1. The Contractor's services shall consist of providing construction services for the Project described in RFQ Section 2.3, Project Narrative and Documentation.
2. The Contract Documents will include, but are not limited to, the Owner's Designers' Manual Standard Documents Divisions 00 and 01. For the General Conditions of the Contract for Construction refer to the Owner's Designer Manual Section 00 72 13.

C. Nondiscriminatory Participation

1. Through this RFQ the Owner seeks to procure the best services at the most favorable, competitive prices and to give all qualified businesses, including those that are owned by minorities, women, persons with a disability, and small business enterprises, opportunity to do business with the Owner.
2. No person shall be excluded from participation in, be denied benefits of, be discriminated against in the admission or access to, or be discriminated against in treatment or employment in the State's contracted programs or activities on the grounds of disability, age, race, color, religion, sex, national origin, or other classification protected by federal or Tennessee State Constitutional or statutory law; nor shall they be excluded from participation in, be denied benefits of, or be otherwise subjected to discrimination in the performance of contracts with the State of Tennessee or in the employment practices of the State's contractors. Accordingly, all vendors entering into contracts with the State of Tennessee shall, upon request, show proof of such nondiscrimination and shall post in conspicuous places, available to all employees and applicants, notices of nondiscrimination.
3. Upon request the Owner will provide the Owner's designated contact to coordinate compliance with the nondiscrimination requirements of the State of Tennessee, Title VI of the Civil Rights Act of 1964, the Americans with Disabilities Act of 1990, and applicable federal regulations.

D. Diversity in Contractual Relationships

It is the express desire of the State Building Commission (SBC) to include an emphasis on diversity in its contractual relationships with contractors for the

construction, demolition or renovation of State projects under the jurisdiction of the Commission. Refer to Item 5 in the SBC Policy.

1.2 RFQ COMMUNICATIONS

A. Notice of Intent to Propose

1. Potential proposers shall submit a Notice of Intent to Propose by email to the RFQ Coordinator. The notice should include the following.

Proposer's organization name
Name and title of a contact person
Contact person's telephone number and email address

2. The Owner will convey all official communications and addenda to such proposers.
3. The Notice of Intent to Propose must be submitted no later than the date detailed in RFQ Section 2.1, Schedule of Events.
4. Such notice creates no obligation and is not a prerequisite for making a proposal.

B. RFQ Addenda and Cancellation

1. The Owner reserves the right to issue addenda to this RFQ in writing up to five days prior to the Proposal Deadline.
2. The Owner reserves the right, at its sole discretion, to cancel and reissue this RFQ or to cancel this RFQ in its entirety.

C. Additional Communications Processes

1. Unauthorized contact regarding this RFQ with employees or officials of the Owner or of the State of Tennessee other than the RFQ Coordinator may result in disqualification.
2. Interested parties and potential proposers must direct all communications regarding this RFQ to the RFQ Coordinator who is the Owner's official point of contact for this RFQ.
3. Notwithstanding the foregoing, for information and assistance regarding this RFQ interested parties may contact the staff of the Governor's Office of Diversity Business Enterprise.
4. The SBC Number for the Project shown on the cover must be referenced in all communications regarding the RFQ.
5. Oral communications shall be considered unofficial and non-binding with regard to this RFQ.
6. Each proposer shall assume the risk of the method of dispatching a communication or proposal to the Owner. The Owner assumes no responsibility for delays or delivery failures resulting from the method of dispatch. "Postmarking" of a communication or proposal shall not substitute for actual receipt of a communication or proposal by the Owner.
7. Only the Owner's official written responses and communications shall be considered binding with regard to this RFQ.

8. The Owner reserves the right to determine, at its sole discretion, the method of conveying official written responses and communications pursuant to this RFQ such as by letter, by email, or by website posting.

1.3 PRE-PROPOSAL CONFERENCE AND PROPOSER COMMENTS

A. Pre-Proposal Conference

1. A Pre-Proposal Conference will be held at the time, date, and location detailed in RFQ Section 2.1, Schedule of Events. Attendance is not a prerequisite for making a proposal.
2. The purpose of the Pre-Proposal Conference is to discuss the RFQ scope of services and contract requirements. While questions will be entertained, the oral response to a question at the conference shall be considered tentative and non-binding with regard to this RFQ.

B. Proposer Comments and Waiver of Objections

1. Each proposer shall carefully review this RFQ and all attachments for comments, questions, defects, objections, or other matters requiring clarification or correction, collectively called Comments. Comments must be made in writing and received by the RFQ Coordinator no later than the Comments Deadline detailed in the RFQ Section 2.1, Schedule of Events.
2. A proposer's protests based on objections concerning the RFQ shall be considered waived and invalid if Comments relevant to the objections have not been brought to the attention of the RFQ Coordinator, in writing, by the Comments Deadline detailed in RFQ Section 2.1, Schedule of Events.
3. The Owner reserves the right to determine, at its sole discretion, the appropriate and adequate responses to Comments. The Owner's official responses to Comments pursuant to this RFQ shall be issued as an addendum to this RFQ.

1.4 PROPOSAL REQUIREMENTS

A. Proposal Deadline and Location

1. Section 2.1, Schedule of Events, details the requirements for the location and the deadline time and date for submitting a proposal. A late proposal or a proposal not submitted to the designated location will not be accepted.
2. The proposal deadline time shall be established by the timepiece of the Owner.

B. Proposal Contents

1. A proposal must respond to the description of Contractor scope of services, contract requirements, and proposal requirements described in this written RFQ and RFQ attachments, exhibits, or addenda.
2. No portion of a proposal may be delivered orally or by means of electronic transmission.
3. A proposal in response to this RFQ shall consist of a Technical Proposal as described herein and RFQ Section 2.2.

4. Each proposer must submit a single digital file copy in a searchable PDF format. The digital file should not exceed 20 MB and should be named using the following format: "<Proposer Name> BV1 540/009-08-2024". Proposals should be clearly marked as follows.

Technical Proposal

Best Value Option One

Baker Center Upgrades

SBC No. 540/009-08-2024

Submitted By:

<<Contractor Name>>

<<Contractor License No., Classification, Expiration Date, License Limit>>

<<Contact Person Name, Address, Telephone Number, Email>>

C. Technical Proposal Requirements

1. No pricing information shall be included in the Technical Proposal. Inclusion in the Technical Proposal of a direct or implied revelation of bid amount information shall make the proposal non-responsive and the Owner will reject it.
2. Each proposer must use RFQ Section 2.2 to guide organization of the Technical Proposal. Each proposer shall duplicate RFQ Section 2.2 for use as the Table of Contents for the Technical Proposal by adding proposal page numbers and the proposer's name as indicated. The proposer must address all items for all sections and provide, in sequence, the required information and documentation with the associated item references.
3. The Technical Proposal must be economically prepared, with emphasis on completeness and clarity of content, legibly written, brief, and to the point in a direct response to the information requested for each item. All material must be on standard 8 1/2" x 11" paper with exceptions permitted for foldouts containing non-text information such as charts and spreadsheets.
4. All pages must be numbered excluding covers.
5. The Technical Proposal shall not exceed 25 pages excluding covers. Pages or sheets with print on both sides will be counted as two pages. Hyperlinks and QR Codes should not be included in any proposal. All pertinent information should be clearly and concisely documented within the 25 pages allowed.
6. All information included in a Technical Proposal shall be relevant to a specific requirement detailed in RFQ Section 2.2. All information must be incorporated into a response to a specific requirement and clearly referenced. Information not meeting these criteria will be deemed extraneous and will in no way contribute to the evaluation process.

D. Proposal Prohibitions and Right of Rejection

1. Each proposal must comply with all of the terms and requirements of this RFQ and all applicable State laws and regulations. The Owner reserves the right, at its sole discretion, to consider non-responsive and reject a proposal that does not comply with all of the terms, conditions, and performance requirements of this RFQ.
2. A proposal of alternate services (i.e., a proposal that offers services different from those requested by this RFQ) may be considered non-responsive and rejected.

3. A proposer shall not restrict the rights of the Owner or otherwise qualify a proposal. The Owner may determine such a proposal to be a non-responsive counteroffer and reject the proposal.
4. A proposer shall not submit the proposer's own contract terms and conditions in a response to this RFQ. If a proposal contains such terms and conditions, the Owner may determine, at its sole discretion, the proposal to be a non-responsive counteroffer, and the proposal may be rejected.
5. A proposer shall not submit more than one proposal. Submitting more than one proposal shall result in the disqualification of the proposer.
6. A proposer shall not submit multiple proposals in different forms. This prohibited action shall be defined as a proposer submitting one proposal as a Contractor and permitting a second proposer to submit another proposal with the first proposer offered as a subcontractor. This restriction does not prohibit different proposers from offering the same subcontractor as a part of their proposals, provided that the subcontractor does not also submit a proposal as a Contractor. Submitting multiple proposals in different forms may result in the disqualification of all proposers knowingly involved.
7. The Owner will reject a proposal if the bid was not arrived at independently without collusion, consultation, communication, or agreement as to a matter relating to such prices with another proposer. Regardless of the time of detection, the Owner shall consider the foregoing prohibited actions that are detected to be grounds for proposal rejection or contract termination.
8. The Owner reserves the right, at its sole discretion, to reject any and all proposals in accordance with applicable laws and regulations.
9. The Owner will not contract with or consider a proposal from:
 - a. an individual who is, or within the past six months has been, an employee or official of the State of Tennessee;
 - b. a company, corporation, or other contracting entity in which an ownership of two percent or more is held by an individual who is, or within the past six months has been, an employee or official of the State of Tennessee (this shall not apply either to financial interests that have been placed into a "blind trust" arrangement pursuant to which the employee does not have knowledge of the retention or disposition of such interests or to the ownership of publicly traded stocks or bonds where such ownership constitutes less than two percent of the total outstanding amount of the stocks or bonds of the issuing entity);
 - c. a company, corporation, or other contracting entity which employs an individual who is, or within the past six months has been, an employee or official of the State of Tennessee in a position that would allow the direct or indirect use or disclosure of information, which was obtained through or in connection with his or her employment and not made available to the general public, for the purpose of furthering the private interest or personal profit of a person; or,
 - d. an individual, company, or other entity involved in assisting the Owner in the development, formulation, or drafting of this RFQ or its scope of services shall be considered to have been given information that would afford an

unfair advantage over other proposers, and such individual, company, or other entity may not submit a proposal in response to this RFQ.

- e. for the purposes of applying the requirements herein, an individual shall be deemed an employee or official of the State of Tennessee until such time as all compensation for salary, termination pay, and annual leave has been paid.

E. Waiver of Variances

The Owner reserves the right, at its sole discretion, to waive a proposal's variances from full compliance with this RFQ. If the Owner waives minor variances in a proposal, such waiver shall not modify the RFQ requirements or excuse the proposer from full compliance with such. Notwithstanding a minor variance, the Owner may hold a proposer to strict compliance with this RFQ.

F. Proposal Withdrawal

A proposer may withdraw a submitted proposal at any time up to the Proposal Deadline time and date detailed in RFQ Section 2.1, Schedule of Events. To do so, a proposer must submit a written request, signed by a proposer's authorized representative to withdraw a proposal. After withdrawing a previously submitted proposal, a proposer may submit another proposal at any time up to the Proposal Deadline.

G. Proposal Errors and Amendments

Each proposer is liable for all proposal errors or omissions. A proposer may not alter or amend proposal documents after the Proposal Deadline time and date detailed in RFQ Section 2.1, Schedule of Events, unless such is requested in writing and approved by the Owner.

H. Proposal Preparation Costs

The Owner will not pay costs associated with the preparation, submittal, presentation, or contracting of a proposal.

I. Disclosure of Proposal Contents

1. Each proposal and all materials submitted to the Owner in response to this RFQ shall become the property of the Owner. Selection or rejection of a proposal does not affect this right. All proposal information shall be held in confidence during the evaluation process. Notwithstanding, a list of actual proposers submitting timely proposals may be available to the public, upon request, immediately after Technical Proposals are opened by the Owner.
2. By submitting a proposal, the proposer acknowledges and accepts that the full proposal contents and associated documents shall become open to public inspection in accordance with Tennessee Code Annotated (TCA), § 10-7-504(a)(7).

J. Licensure and Qualifications

1. A proposer must be a licensed General Contractor in the State of Tennessee. Before a contract pursuant to this RFQ is signed, the proposer and its personnel, if applicable, must hold all necessary, applicable business and professional licenses as may be required for specific services. The Owner may require a proposer to submit evidence of proper licensure.

2. Proposers shall be familiar with the Contractors Licensing Act of 1994, as currently amended (codified in TCA § 62-6-101, et seq.). A contract will not be awarded to a proposer whose proposal is in conflict with State licensing law.
3. In compliance with TCA § 50-9-114 proposers are advised that the Owner does not operate a certified drug-free workplace program that serves for compliance with TCA § 50-9-113.
4. Proposals submitted shall not include a contractor or subcontractor disqualified from participating in SBC projects. The Office of the State Architect (OSA) maintains a list of those that are disqualified.
5. The proposer and its subcontractors shall not knowingly utilize the services of an illegal immigrant in the performance of the Work, and shall not knowingly utilize the services of a subcontractor, sub-subcontractor, or consultant who utilizes the services of an illegal immigrant in the performance of the Work.
6. In compliance with the Iran Divestment Act bids submitted shall not include a contractor or subcontractor on the list created pursuant to TCA § 12-12-106.
7. In compliance with TCA § 12-4-119, Contractors currently engaged in a boycott of Israel or who intend to engage in a boycott of Israel should not bid.

K. Severability

If a provision of this RFQ is declared by a court to be illegal or in conflict with a law, said decision shall not affect the validity of the remaining RFQ terms and provisions, and the rights and obligations of the Owner and proposers shall be construed and enforced as if the RFQ did not contain the particular provision held to be invalid.

L. Material Changes in Performance Capabilities Prior to Award

Material changes are defined as changes in the operations, management or performance capabilities of the proposer that may impact performance of the contract requirements. If there are material changes after the submission of the proposal, but prior to submission of a bid, the proposer shall immediately notify the Owner of the details of such changes. The Owner reserves the right to disqualify the proposer for a material change.

M. Audited Statements

The Owner reserves the right to request CPA audited or reviewed financial statements prepared in accordance with generally accepted accounting principles. If the requested documents do not support the financial stability of the proposer the Owner reserves the right to reject the proposal.

1.5 BID AND CONTRACT REQUIREMENTS

A. Bidding Documents

1. The Designer will issue bidding documents to proposers that meet proposal format and content requirements, meet the requirements of Section 2.2, Technical Proposal, Section A, Mandatory Requirements, and, after evaluation, meet or exceed the Minimum Qualifying Technical Proposal Score provided in Section 2.2, Technical Proposal. Bidding documents will include the following documents which are provided pro forma in the Owner's Designers' Manual:

00 21 13 Instructions to Bidders, 00 41 13 Bid Form, and 00 47 13 Construction Bid Envelope.

2. Short-listed proposers shall submit a bid in accordance with requirements of the bidding documents issued by the Designer.

B. Subcontractors in Bids

If any work, regardless of dollar value, is required for the trades listed below, bidders shall prepare a bid that lists a subcontractor for such trades that are identified in the bidder's Technical Proposal. If bidder will self-perform listed trade work, list the bidder as the subcontractor.

1. Electrical
2. HVAC
3. Masonry
4. Plumbing
5. Roofing

C. Right to Refuse Personnel

At its sole discretion, the Owner reserves the right to refuse personnel of the Contractor or a subcontractor for use in the performance of a contract pursuant to this RFQ.

D. Insurance

Prior to execution of an agreement for construction services a certificate(s) of insurance will be required as detailed in the Owner's Designers' Manual, Section 00 72 13 General Conditions of the Contract for Construction.

E. Contract Award

1. The Owner intends to contract with the responsive and responsible bidder offering the lowest cost for the work. Such bidder will be recommended to the State Building Commission for award of a contract.
2. The Owner will make the RFQ files available for public inspection on the date in RFQ Section 2.1, Schedule of Events.
3. RFQ protest procedures are located in the SBC Policies and Procedures posted on the OSA's website.
4. The Owner reserves the right, at its sole discretion, to add terms and conditions or to revise pro forma contract requirements in the Owner's best interests subsequent to this RFQ process. No such terms and conditions or revision of contract requirements shall materially affect the basis of proposal evaluations or negatively impact the competitive nature of the RFQ process.
5. The RFQ process does not obligate the Owner and does not create rights, interests, or claims of entitlement in proposers. Contract award and the Owner obligations pursuant thereto shall commence only after contract approval of all State officials as required by State laws and regulations and not prior to the proposer's receipt of a fully signed contract.
6. In the event it is determined that the proposer failed to disclose requested information, or made a false statement, misrepresentation or omission regarding a material fact concerning an aspect of the award of a contract, the proposer may be considered in default and the Owner may terminate the contract immediately

and/or withhold full or partial payment as it deems appropriate. In addition, the Owner may seek other available remedies to which it is entitled by law.

F. Contract Payments

All contract payments shall be made in accordance with the Contract Documents.

1.6 EVALUATION GUIDE

A. Scoring

The evaluation process is designed to establish qualified proposers that score at least the Minimum Qualifying Technical Proposal Score provided in Section 2.2, Technical Proposal.

B. Process

1. After the proposal deadline provided in RFQ Section 2.1, Schedule of Events, the Owner will open and review each Technical Proposal for a “Pass” or “Fail” evaluation based on compliance with each of the Mandatory Requirements of Section 2.2, Technical Proposal, and the following proposal format and content requirements.
 - a. Received on or before the proposal deadline.
 - b. Number of copies, digital file, and packaging as required.
 - c. Formatted as required and does not exceed size or page number limits.
 - d. Contains no bid amount information.
 - e. Proposer did not submit alternate proposals.
 - f. Proposer did not submit multiple proposals in a different form.
 - g. Does not contain restrictions of the rights of the Owner or other qualification of the proposal.
2. If the Owner determines that a proposal may have failed to meet one or more of the “Pass or Fail” criteria or the proposal format and content requirements, the Evaluation Team, described below, will review that proposal and make its own determination, documented in writing, of whether (1) the proposal meets requirements for further evaluation or (2) the Owner will request clarifications or corrections to enable further evaluation or (3) the Owner will determine the proposal non-responsive to the RFQ and reject it.
3. An Evaluation Team made up of three or more employees of the State of Tennessee will evaluate responsive proposals. The Evaluation Team may utilize technical advisers.
4. The Owner may contact references provided by the proposer and other sources available for reference information.
5. Each Evaluation Team member will independently evaluate proposals and assign points using Section B, Qualifications and Experience, and Section C, Technical Approach, in RFQ Section 2.2, Technical Proposal.
6. The Owner reserves the right, at its sole discretion, to request proposer clarification of a Technical Proposal or to conduct clarification discussions with

proposers. Such discussions shall be limited to specific sections of the proposal identified by the Owner. The subject proposer shall put the resulting clarification in writing as may be required by the Owner.

7. The Owner reserves the right to receive an oral presentation from a proposer. Oral presentation topics and the number of firms presenting are at the sole discretion of the Owner.
8. Using the scores from the Evaluation Team, the Owner will develop Technical Proposal Scores. For each proposer the median score of all evaluators' scores is determined for both Technical Proposal Sections B and C. The two median scores for each proposer are added to determine the proposer's Technical Proposal Score.
9. After Technical Proposal evaluations are completed, the Owner will advise proposers of evaluation results.

END

2.0 PROJECT SPECIFIC DOCUMENTS

2.1 SCHEDULE OF EVENTS

The following table provides the Owner's proposed Schedule of Events. The Owner reserves the right, at its sole discretion, to change this schedule. The Owner will communicate a change to the Schedule of Events to entities from whom the Owner has received a Notice of Intent to Propose.

EVENT	DATE	TIME at LOCATION
1. Owner Issues RFQ	April 2, 2025	
2. Pre-Proposal Conference Location and Instructions below.	April 11, 2025, via Zoom	2:00 pm ET
3. Notice of Intent to Propose Deadline	April 14, 2025	
4. Comments Deadline	April 15, 2025	
5. Owner Responds to Comments	April 21, 2025	
6. Proposal Deadline Proposals must be submitted to the Owner no later than the date and time shown, at the location below.	April 29, 2025	12:00 pm ET
7. Owner Advises Proposers of Evaluation Results and Procurement File Opened for Public Inspection	May 9, 2025	
8. Invitation to Bid Issued with Pre-Bid Conference Date	To Be Determined	

Pre-Proposal Conference Location and Instructions:

Held via Zoom – Zoom meeting invitation will be sent to firms requesting information from RFQ coordinator by April 10, 2025, at 5:00 p.m. Eastern Time. The Zoom meeting invitation will be sent out the morning of April 11, 2025.

Proposal Submittal Location:

Proposals will be received via Microsoft Teams Upload. Proposers who intend to submit a qualification should contact the RFQ Coordinator no later than April 14, 2025, at 5:00 p.m. Eastern Time to receive instructions on uploading submission to assigned portal.

END

2.2 TECHNICAL PROPOSAL

PROPOSER NAME:	
TECHNICAL PROPOSAL SECTION A: MANDATORY REQUIREMENTS Owner Evaluation for Each Requirement: Pass or Fail	Proposal Page Number (By Proposer)
A.1 Provide a completed Certification Statement, in the format provided herein.	
A.2 Provide a letter(s) from an insurance and/or surety agency stating Proposer's capability to provide insurance and bonding for the Project in accordance with the estimated construction cost listed in RFQ Section 2.3, Project Narrative and Documentation, and the General Conditions of the Contract for Construction.	
A.3 Describe Proposer's form of business (e.g., corporation, partnership, limited liability company) and the U.S. state in which it is established.	
A.4 Provide a statement of whether there have been mergers, acquisitions, or sales of Proposer within the last five years, and if so, an explanation providing relevant details.	
A.5 Provide a statement that discloses pending litigation against Proposer. The Owner reserves the right to request an opinion of Proposer's counsel as to whether pending litigation will impair performance in a contract under this RFQ.	
A.6 Provide a statement declaring whether, in the last ten years, the Proposer has filed, or had filed against it, bankruptcy or insolvency proceeding, whether voluntary or involuntary, or undergone the appointment of a receiver, trustee, or assignee for the benefit of creditors, and if so, an explanation providing relevant details.	
A.7 Identify Proposer's primary contact person for the Owner including mailing address, telephone number, and email address.	
A.8 Provide a statement declaring Proposer does not have a prohibition for proposing as stated in RFQ Section 1.4.D.9 and an explanation of potential conflict.	

CERTIFICATION STATEMENT (In response to Technical Proposal Section A.1.)

Proposer Legal Entity Name: _____

Proposer Tennessee Contractor License Information:

License Number: _____ License Classification applicable to project: _____

License expiration date: _____ Dollar Limit: \$ _____

The Proposer hereby acknowledges, attests, certifies, warrants, and assures that:

1. This Proposal constitutes (a) a commitment to provide all services as defined in an Agreement executed pursuant to this Request for Qualifications (RFQ) and (b) confirmation that the Proposer shall comply with all of the provisions in this RFQ.
2. The information detailed in the Proposal submitted herewith in response to the subject RFQ is truthful, accurate and complete.
3. The Proposal submitted herewith in response to the subject RFQ shall remain valid for at least 60 days subsequent to the date of the bid opening and thereafter in accordance with a contract pursuant to the RFQ.
4. The Proposer shall not utilize the services of a contractor or subcontractor disqualified from participating in State Building Commission projects.
5. The Proposer shall not knowingly utilize the services of an illegal immigrant in the performance of an executed Agreement and shall not knowingly utilize the services of a subcontractor, sub-subcontractor, or consultant who utilizes the services of an illegal immigrant in the performance of the Work.
6. As applicable to an executed Agreement, the proposer shall comply with:
 - a. the laws of the State of Tennessee;
 - b. Title VI of the federal Civil Rights Act of 1964;
 - c. Title IX of the federal Education Amendments Act of 1972;
 - d. the Equal Employment Opportunity Act and the regulations issued thereunder by the federal government;
 - e. the Americans with Disabilities Act of 1990 and the regulations issued thereunder by the federal government;
 - f. the condition that the submitted Proposal was independently arrived at, without collusion, under penalty of perjury;
 - g. the condition that no amount shall be paid directly or indirectly to an employee or official of the State of Tennessee as wages, compensation, or gifts in exchange for acting as an officer, agent, employee, subcontractor, or consultant to the Proposer in connection with the Procurement under this RFQ; and,
 - h. the condition that in compliance with the Iran Divestment Act the Proposer is not on the list created pursuant to Tennessee Code Annotated (TCA) § 12-12-106 and shall not utilize a subcontractor on that list.
 - i. TCA § 12-4-119, Contractors currently engaged in a boycott of Israel or who intend to engage in a boycott of Israel should not bid.
7. The following statement is (mark the one that is applicable) ☐ **True** ☐ **False**:
The Proposer and/or any of the Proposer's employees, agents, independent contractors and/or proposed subcontractors have been convicted of, pled guilty to, or pled nolo contendere to a contract crime involving a public contract.
8. The person who signs this certification on behalf of the Proposer is legally empowered to bind the proposer to the provisions of this RFQ and a resulting contract.
9. The Proposer acknowledges receipt of Addendum:

Addendum number(s) and date(s): _____

SIGNATURE: _____ **DATE:** _____

Printed Name and Title: _____

END OF CERTIFICATION STATEMENT

PROPOSER NAME:	
TECHNICAL PROPOSAL SECTION B: QUALIFICATIONS AND EXPERIENCE	Proposal Page Number (By Proposer)
B.1 Provide a brief statement indicating Proposer's credentials to deliver the services required by this RFQ. Name the office location(s) providing services and number of employees in each. Provide Proposer's insurance experience modification rate for the last three years. 5 points	
B.2 Provide summary information for each of no more than three projects of similar scope and complexity constructed in the past ten years or is being constructed by Proposer. Format information as shown after this Section B on no more than one page for each project. 15 points	
B.3 List contracts with the State of Tennessee including current contracts and contracts completed within the past five years. 5 points	
B.4 Provide resumes of no more than one page each for the project executive, project manager(s), and superintendent(s). Include job title, education, professional license or registration, general employment history, and relevant project experience and project roles. Provide two references for the project manager(s) and superintendent(s) with names and contact information. 15 points	
B.5 Provide a table identifying the personnel named in B.4 assigned to projects named in B.2 and their job titles for those projects. 10 points	
B.6 Provide a table identifying the estimated amount of time in hours per week that each of the key personnel identified in B.4 will be committed to this project. 10 points	
Section B: 60 points	

BEST VALUE OPTION 1 RFQ PROJECT SPECIFIC DOCUMENTS – TECHNICAL PROPOSAL

PROPOSER NAME:
SIMILAR PROJECT INFORMATION (In response to Technical Proposal Section B.2.)
Project Title: Client: Project City, State:
Client Contact and Title: Client Contact Telephone and Email:
Project Construction Start Date: Project Construction Completion Date:
Project Square Footage: Dollar Value of Project Construction:
Project Executive: Project Manager: Construction Superintendent:

Describe the project including the scope of the work and the services provided by Proposer. Relate the work in this project to the scope and services contained in the RFQ.

PROPOSER NAME:	
TECHNICAL PROPOSAL SECTION C: TECHNICAL APPROACH	Proposal Page Number (By Proposer)
<p>C.1 Provide a statement indicating how Proposer will deliver the construction services required by this RFQ. Include a project organizational chart designating the lines of authority.</p> <p>10 points</p>	
<p>C.2 Describe the methods to be used for the following construction services as applied to this Project.</p> <ol style="list-style-type: none"> 1. Tracking and reporting construction progress, schedule, conflict resolution, and accounting information 2. Quality control program for construction 3. Safety program for construction 4. Project close-out procedures <p>15 points</p>	
<p>C.3 Describe Proposer's experience implementing criteria for sustainable design and construction such as State of Tennessee High Performance Building Requirements, LEED, Green Globes or Energy Star.</p> <p>5 points</p>	
<p>C.4 If any work, regardless of dollar value, is required for the trades listed below, and if Proposer will not perform the work in that category with Proposer's own forces, identify one to three subcontractors in each category that are prequalified by your firm to serve as a subcontractor for this Project. Describe the qualifications for each that meet or exceed your prequalification requirements.</p> <ol style="list-style-type: none"> 1. Electrical 2. HVAC 3. Masonry 4. Plumbing 5. Roofing <p>The Owner reserves the right to request an AIA Document A305-1986 on a proposed subcontractor.</p> <p>10 points</p>	
Section C: 40 points	

PROPOSER NAME:	
TECHNICAL PROPOSAL SECTION D: INFORMATION ONLY	Proposal Page Number (By Proposer)
<p>D.1 Provide the following:</p> <p>(a) A description of the Proposer’s existing programs and procedures designed to encourage and foster commerce with business enterprises owned by minorities, women, persons with a disability and small business enterprises;</p> <p>(b) A listing of the Proposer’s current contracts with business enterprises owned by minorities, women, persons with a disability and small business enterprises;</p> <p>(c) An estimate of the level of participation by business enterprises owned by minorities, women, persons with a disability and small business enterprises in a contract awarded to the Proposer pursuant to this RFQ; and</p> <p>(d) The percent of the Proposer’s current employees listed by gender, noting ethnicity and disability.</p>	

Maximum Technical Proposal Score: 100 points.

Minimum required for qualification for an Invitation to Bid: 75 points.

END OF TECHNICAL PROPOSAL

2.3 PROJECT NARRATIVE AND DOCUMENTATION

Design Team

Designer of Record: Design Innovation Architects, Inc.
Mechanical Engineer: I.C. Thomasson Associates, Inc.
Electrical Engineer: I.C. Thomasson Associates, Inc.
Civil Engineer: Design Innovation Architects, Inc.
Structural Engineer: Bennett & Pless, Inc.

Project Description

This project will upgrade portions of the Baker Center for Public Policy and Public Affairs for the Institute of American Civics. This includes both interior and exterior improvements including new offices and classrooms, exterior windows and all related work.

The project includes complete renovation of two floors of the West Wing at the existing Baker School for Public Policy and public Affairs. Renovation work totals a combined area of approximately 10,300 SF to allow for fourteen (14) new offices on the ground floor and fourteen (14) new offices on the second floor. Open office space and two (2) huddle areas will be provided on the ground floor, as well as a new reception area. The second floor will include new open workspaces, support spaces, and two (2) classrooms, one designed to accommodate 22+ students and the other 52+ students.

The exterior of the west wing will have existing precast concrete panels removed to allow for new storefront windows to be installed, matching the existing window sizes and locations found elsewhere on the building. The new window openings will require some light framing and structural supports to be added.

Included in the renovation work is the installation of new electrical and mechanical components to serve the reconfigured classroom and office layout on both levels. The existing plumbing found elsewhere in the building is to remain as-is, but a new water fountain will be installed near the reception area on the second floor.

The following outlines the work included.

Demolition:

- Remove existing concrete panels and brick at both the North and South facades of the West Wing of the building to allow for future new window openings. Future openings align with recessed portions of the facade on both levels of the North and South Facades. Demo includes the saw cutting of a small portion of cast concrete at the 2nd floor openings to allow for it to remain as a future windowsill.
- At “Wing Walls” connecting to the West Façade of the building, demo brick and stone masonry for future window openings.
- Demo for future window openings includes temporary support for brick above.
- Demo all existing interior walls, ceilings, and ceiling soffits in West Wing. See the drawing set for clarifications and any specific walls or items remaining or being reused.
- Demo existing AHU-2 associated supply ductwork, supply riser and exhaust duct in basement
- Demo existing return duct to riser on level 2 and reroute

BEST VALUE OPTION ONE RFQ PROJECT SPECIFIC DOCUMENTS – PROJECT NARRATIVE AND DOCUMENTATION

- Demo existing OA duct and replace with new, larger OA duct from existing louver plenum
- Demo DSS-1 and associated piping
- Demo Level 2 supply ductwork and diffusers
- Demo existing dry Fire Protection system on level 2
- Demo all lighting fixtures, associated controls, cabling and conduit in the first and second level renovated spaces back to the panel in existing electrical room 222
- Demo all power outlets and associated cabling conduits in renovated spaces on the first and second level back to their source in electrical room 222
- Demo the power for the existing air handling unit in the basement back to its source
- Demo the power for the existing ductless split system DSS-4 serving A/V support room 228 back to its source
- Demo the existing fire alarm notification system serving the renovated spaces on the first and second level

Building Exterior:

- New exterior window openings on the North and South Facades of the West Wing of the Building
- Each window opening on the main North/South Façade is approximately 6'-0" in width with varying heights based on level
- New window openings at the "Wing Wall" locations of the North/South Façade are approximately 2'-0" in width
- Work on new window openings includes repair work for brick at heads, jambs, and sills
- Replace one exterior door on the North side of the First Floor with a new HM door with a vision glass panel

Interior Improvements:

- First Floor - Build-out of Fourteen (14) new offices, Two (2) Huddle Rooms, Open Office Space, Print/Copy Area, Reception Area, and Support spaces
- Second Floor – Build-out of Fourteen (14) new offices, One Huddle Room, One Small Lounge, One Open lounge area, and two classrooms.
 - Small Classroom is approximately 675 SF
 - Large Classroom is approximately 1250 SF
- Acoustic ceilings in majority of rooms on both levels. Reception Room on First Floor to have a decorative gypsum soffit with a decorative acoustic ceiling
- Open Lounge on Second Floor to have a decorative acoustic ceiling
- Both Classrooms will have a linear acoustic ceiling with a gypsum soffit at the head of the classroom, including a built-in box for projectors
- All doors on both levels to be stained wood with full glass panels and a glass sidelight
- Flooring for entire office suite on both levels to be a mixture of LVP and Carpet Tile
- Back wall of both First & Second Floor Reception areas to have a tile feature wall for signage and TV Monitors

Architectural and Structural:

- Structural work includes new steel tube columns, welded plates, and steel angles to support openings and existing brick at window heads
- Portions of exterior wall to have studs repaired with cold formed metal stud framing

Mechanical:

- Rework Level 1 duct and VAV layout
- Install new VAV's, supply and return diffusers on level 2 to serve new layout
- Install new 8000 CFM Medium pressure AHU in basement and connect to existing HW and CHW piping
- Install new medium pressure supply riser from basement to level 2
- Rework return ductwork in mechanical room to connect to new AHU
- Install new OA duct and exhaust duct from existing louver plenum to new unit in Basement
- Run new HWS/R pipes to serve new level 2 VAV boxes

Plumbing:

- N/A

Plumbing Fixtures

- Install a new water fountain on level 2 to be connected to existing domestic water and sanitary piping

Fire Protection:

- Move sprinkler heads on level 1 as needed to serve new floor layout
- Install new sprinkler heads and fire protection piping on level 2 with new piping connected to existing building system

Electrical:

- HVAC
 - The new air handling unit in the basement will be powered by procuring new breakers and utilizing the spare slots in the existing motor control center and existing panel 'BB'
 - All mechanical VAV systems will require a 120V connection for controls
- Lighting
 - Install new lighting in renovated spaces on the first and second level; All new lighting is to be of LED type
 - Enclosed offices, first floor open office, conference rooms and corridors to have 2'x4' recessed LED troffer lights
 - Classrooms to have LED type recessed linear with supplemental LED type recessed cans where necessary
 - Reception and Greeting areas to have LED type recessed linear fixtures with additional wall washing recessed cans for accent lighting
 - Open office and lounge spaces on the second level are to have LED type recessed linear fixtures
 - Install lighting controls in the first and second level renovated spaces in accordance with IECC 2012; automatic lighting shutoff controls will consist mainly of ceiling mounted occupancy sensors

BEST VALUE OPTION ONE RFQ PROJECT SPECIFIC DOCUMENTS – PROJECT NARRATIVE AND DOCUMENTATION

- Interior office spaces will be provided with dimming controls
 - Classrooms and conference rooms will have a scene controllability function to allow for preset lighting controls
- Emergency Lighting
 - Exist signs are to be LED edge-lit universal mount with a 90-minute backup battery
- Panelboards – N/A
- Transformer – N/A
- Fire Alarm System
 - Install a duct smoke detector on the supply and return of the new air handling unit in the basement
 - The first and second level will get new alarm initiating and signaling devices that match and tie into the existing fire alarm system
- Power systems
 - First and Second level renovation will utilize the existing panels '2B' and '2C' to get a new layout of wiring devices as follows:
 - Receptacles will be installed in the corridors at a maximum of 50' apart
 - Each office to receive a duplex receptacle on each wall
 - Duplex receptacles will be installed along the perimeter of classroom walls with a maximum spacing of 15'
 - Classrooms will receive poke-thru floor box quadruplex receptacles on a 10'x10' grid to allow for maximum flexibility
 - Poke-thru devices will be provided in meeting/conference rooms as required per the NEC

Sustainable Design:

- N/A

Anticipated Project Schedule:

- Construction is anticipated to begin in mid-to-late July 2025 with an anticipated substantial completion in Spring 2026.

Drawings Showing Design Intent

- Construction Documents Drawings January 29, 2025 are available to respondents.

Estimated Construction Cost:

- Bid Target is \$2,900,000.00

[illegible]

DESIGN DEVELOPMENT

UTK BAKER SCHOOL RENOVATIONS

1640 CUMBERLAND AVE, KNOXVILLE, TN 37996

DESIGN DEVELOPMENT

DIA
Design Innovation

402 S. Gay Street, Suite 201, Knoxville, TN 37902
ph 865.637.8540 / fx 865.544.3840
www.dlia-arch.com

PRELIMINARY
NOT FOR
CONSTRUCTION

UTK BAKER SCHOOL RENOVATIONS

1640 CUMBERLAND AVE, KNOXVILLE, TN 37996

04 03 02 01

GENERAL NOTES

DEMOLITION & REMOVALS

- A DEMOLITION NOTES PERTAIN TO THE GENERAL SCOPE OF WORK AND ARE TO BE CONSIDERED AS PERTAINING TO ALL CONDITIONS SIMILAR TO THOSE INDICATED, WHETHER SPECIFICALLY IDENTIFIED OR NOT.
- B IF, DURING DEMOLITION, CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE FOLLOWING THE DESIGN INTENT, GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- C THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL METHODS OF CONSTRUCTION AND COORDINATION OF THE SAME, INCLUDING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL & PLUMBING UNLESS NOTED OTHERWISE.
- D THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL CONSTRUCTION IS PROPERLY BRACED DURING DEMOLITION AND RENOVATION.
- E THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
- F TO TRASH OR DEBRIS SHALL BE STORED ON SITE. REMOVE ALL DEMOLISHED MATERIALS FROM SITE DAILY.
- G THE GENERAL CONTRACTOR SHALL COORDINATE INTERRUPTION OR DISCONNECTION OF UTILITIES WITH APPROPRIATE AGENCIES AND AUTHORITIES. NOTIFY OWNER 48 HOURS IN ADVANCE OF SCHEDULED INTERRUPTIONS.
- H PATCH AND REPAIR ALL DAMAGED WALLS, FLOORS, AND CEILINGS AS REQUIRED TO RECEIVE NEW FINISHES. REPLACE EXISTING DAMAGED FINISHES WITH NEW FINISHES, OR REFINISH ENTIRE AREA OF CONCERN IF NEW.
- I ALL PENETRATIONS, NEW OR EXISTING, IN EXISTING RATED WALLS TO BE REPAIRED WITH CODES APPROVED MATERIALS OF EQUAL OR GREATER FIRE RESISTANCE.
- J ALL ORIGINAL CODE REQUIRED FIRE RATED PARTITIONS, FIREPROOFINGS, ASSEMBLIES, ETC. DAMAGED DURING CONSTRUCTION SHALL BE RETURNED TO ORIGINAL RATING.
- K THE GENERAL CONTRACTOR SHALL CAREFULLY REMOVE ALL EXISTING EQUIPMENT, FURNISHINGS, FINISHES, ETC. AND PROPERLY STORE THESE ITEMS FOR THE OWNER TO REUSE OR SALVAGE AT THE OWNER'S DISCRETION. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, HVAC UNITS AND DUCTING, PLUMBING FIXTURES, CURTAINS & WINDOW TREATMENT, ETC. AFTER FIRST REFUSAL BY THE OWNER, THE CONTRACTOR MAY DISCARD THESE ITEMS.
- L ALL AREAS TO RECEIVE NEW CONSTRUCTION ARE TO BE STRIPPED OF EXISTING FINISHES AND PROPERLY PREPARED TO RECEIVE THE NEW CONSTRUCTION & FINISHES WITH A PROPER BOND. COORDINATE W/ TENANT EXTENT OF EXISTING FLOOR & WALL FINISH REMOVAL.
- M ALL ABANDONED DUCTING, PIPING, CONDUIT, ETC. IS TO BE REMOVED.
- N RAISE EXISTING PIPING, CONDUIT, ETC. AS REQUIRED TO ACCOMMODATE NEW CEILING, MECHANICAL, PLUMBING AND ELECTRICAL ITEMS WHERE FEASIBLE.
- O DEMOLITION WORK SHALL BE COORDINATED WITH ALL SUBCONTRACTORS TO ENSURE UNINTERRUPTED PROGRESS OF NEW CONSTRUCTION WORK.
- P ALL DEMOLITION, CUTTING AND PATCHING SHALL BE DONE TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE AND IS TO PROVIDE A SMOOTH FINISHED APPEARANCE WHEN COMPLETED.
- Q PATCH AND REPAIR ALL AREAS OF EXISTING STRUCTURE AFFECTED BY DEMOLITION TO MATCH NEW CONSTRUCTION.
- R WHENEVER EXISTING EQUIPMENT, PIPING, DUCTS, ETC. ARE REQUIRED TO BE REMOVED, SUCH REMOVAL IS TO INCLUDE ALL ANCHORS, HANGERS, FOUNDATIONS ETC. AFTER REMOVAL, ALL FLOORS, WALLS AND CEILINGS SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES AND SCHEDULES.
- S ALL WALLS INDICATED TO BE DEMOLISHED SHALL BE REMOVED FULL HEIGHT UNLESS NOTED OTHERWISE. AFTER REMOVAL FLOORS, CEILINGS AND ADJACENT WALLS SHALL BE REPAIRED & FINISHED TO MATCH EXISTING.
- T ALL ABANDONED WIRING SHALL BE REMOVED FROM SOURCE, INCLUDING ELECTRICAL, TELEPHONE, AND DATA.
- U REFER TO OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL DEMOLITION.

KEYED NOTES		#
		DEMOLITION & REMOVALS
01	PROPERLY REMOVE AND DISPOSE OF EXISTING CEILING COMPONENTS, INCLUDING LIGHTING FIXTURES, EQUIPMENT, AND HVAC DIFFUSERS. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF DUCTWORK REMOVED IN THIS LOCATION	
02	DEMO EXISTING ROLLING ARCHIVE SHELVING	
03	DEMO EXISTING COLD STORAGE	
04	DEMO EXISTING CASEWORK	
05	DEMO EXISTING FLOORING	
06	DEMO PRECAST CONCRETE WHERE NEW WINDOW WILL BE PLACED. REFER TO STRUCTURAL	
07	DEMO STONE WHERE NEW WINDOW WILL BE PLACED. REFER TO STRUCTURAL	
08	DEMO BRICK WHERE NEW WINDOW WILL BE PLACED. REFER TO STRUCTURAL	
09	DEMO GYP BOARD AND METAL STUD WALLS FOR WINDOW OPENINGS. TYPICAL ALL LOCATIONS	
10	SAW CUT LOWER PORTION OF EXISTING PRECAST PANELS - EXTENT HIGHLIGHTED TO REMAIN AS-IS	
11	CONTRACTOR TO EVALUATE SAW CUTTING EXISTING PRECAST PANEL FOR REUSE IN NEW WINDOW INFILL PANEL	

[illegible]

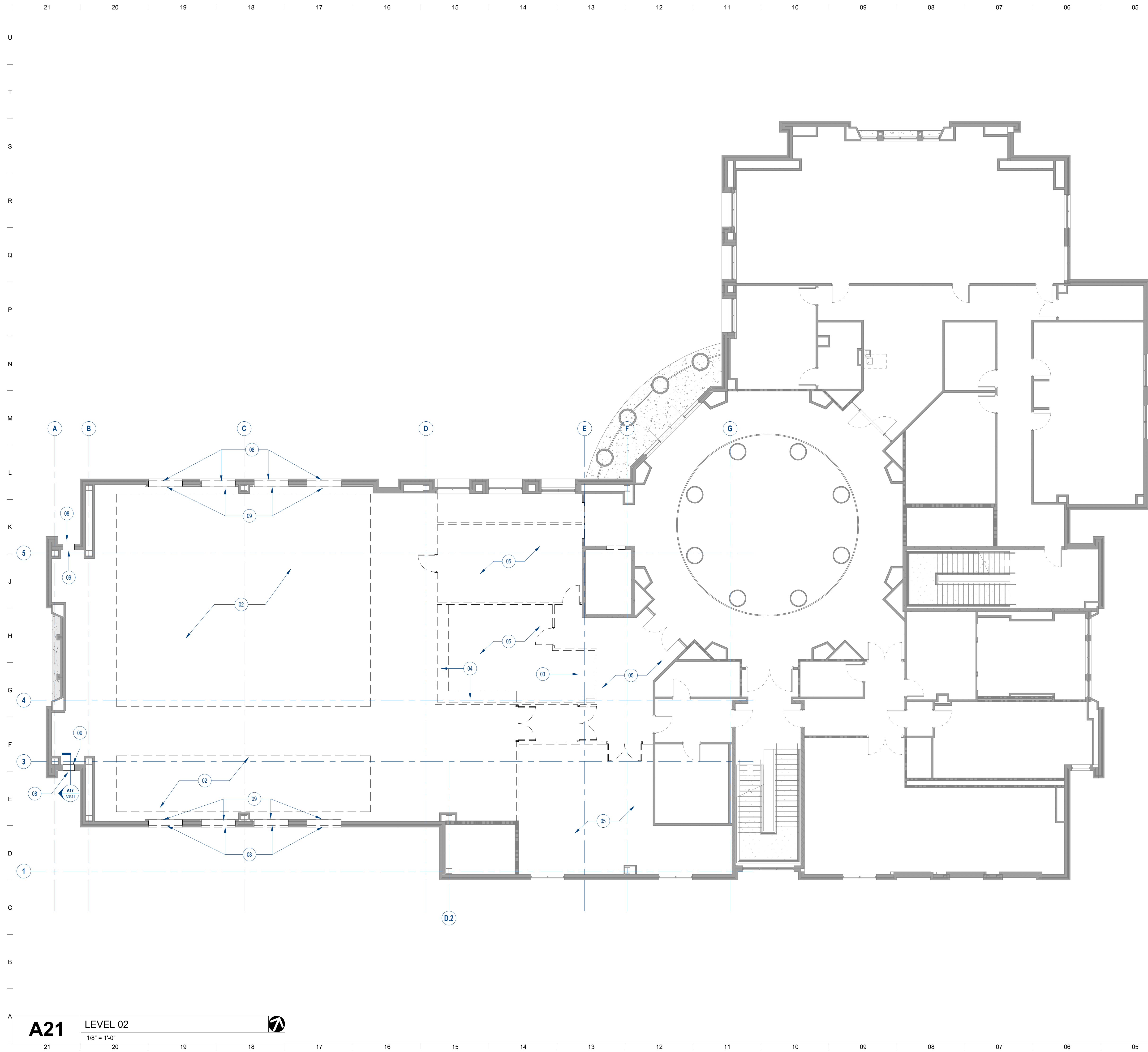
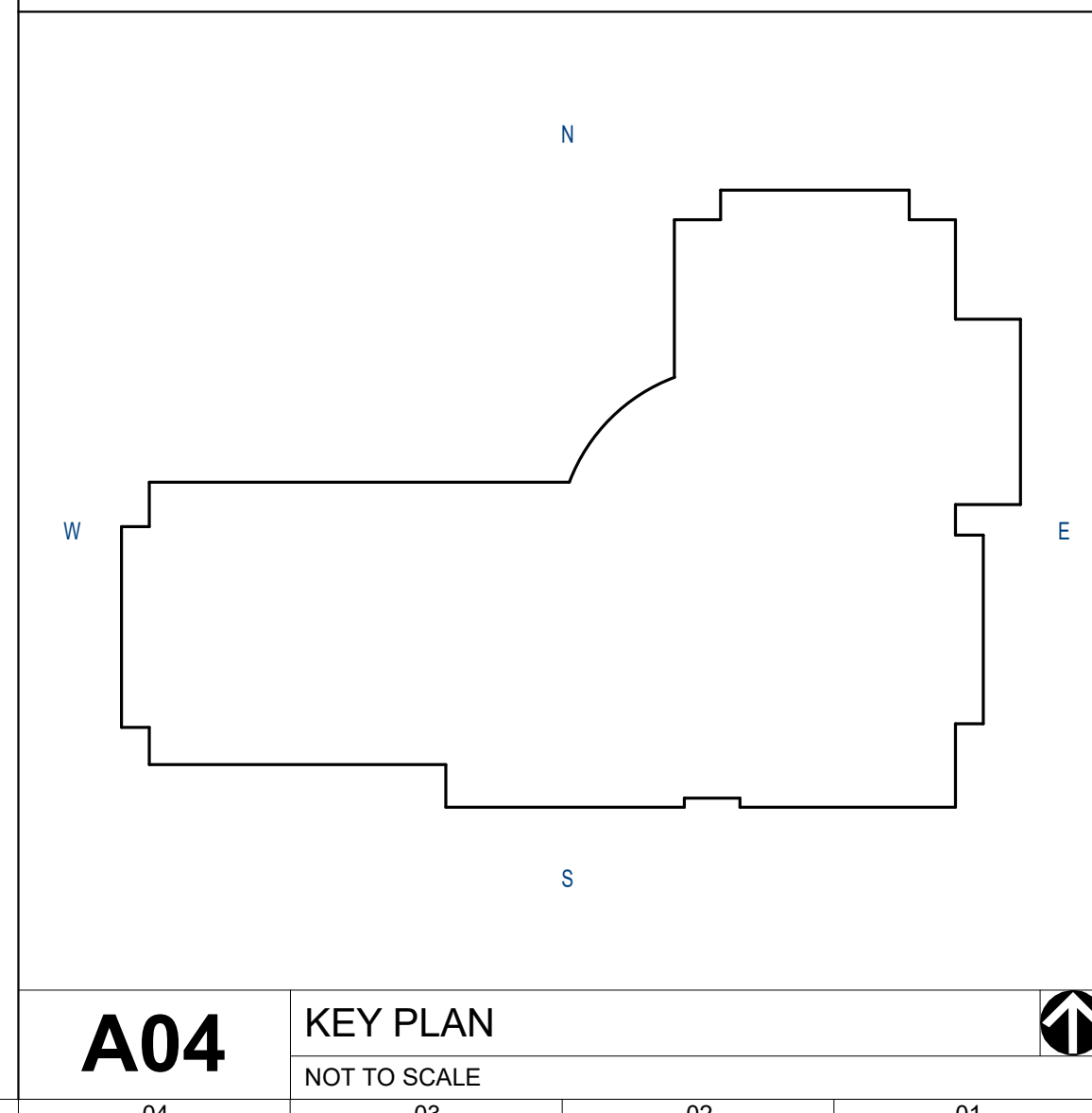
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







SHEET DESCRIPTION
SECOND FLOOR DEMO
PLAN

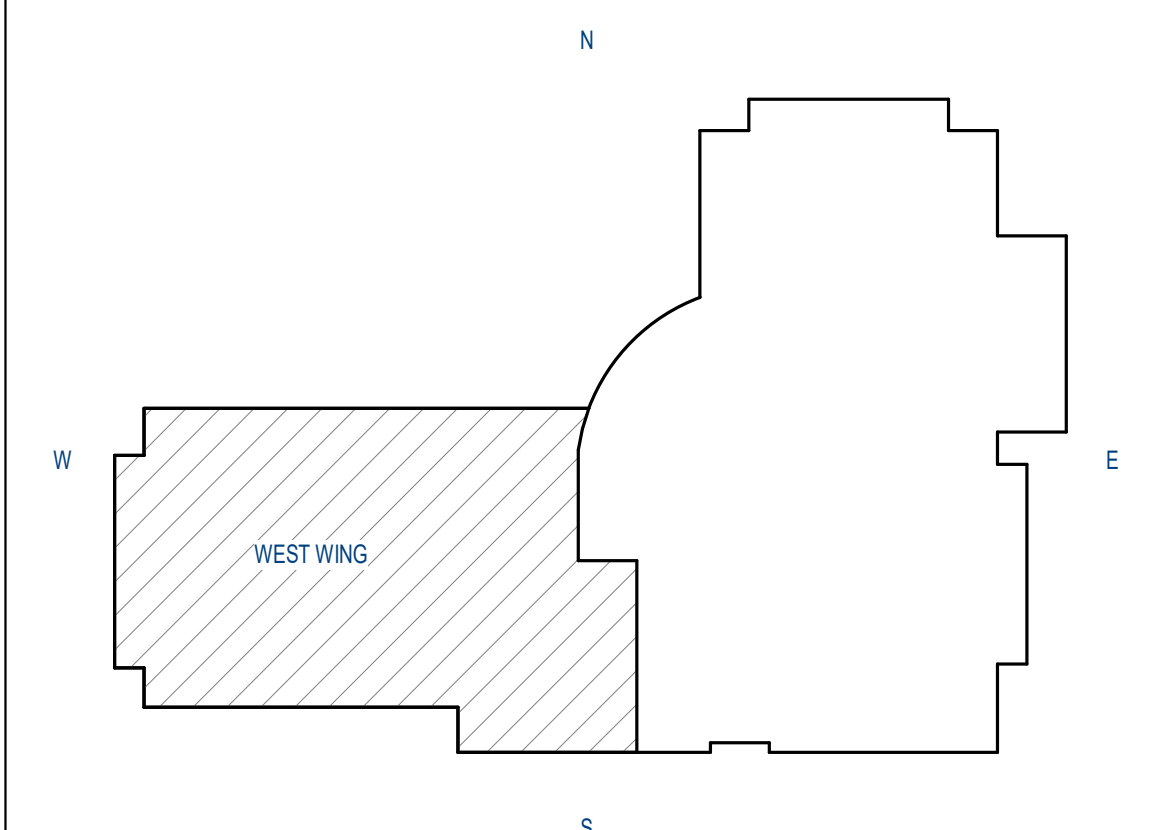
AD102

PROJECT DATE	PROJECT NUMBER
2025-01-29	24095

C.O.K. PLANS REVIEW /
ELECTRONIC PERMIT STAMP



GRAPHIC LEGEND		REFLECTED CEILING PLANS	
NOT TO SCALE			
	1T - 2' x 2' ACOUSTIC CEILING TILE		SLOT DIFFUSER
	GYP - GYPSUM BOARD CEILING		DIFFUSER - SUPPLY
	2' x 4' GRID FIXTURE		DIFFUSER - RETURN
	RECESSED DOWNLIGHT		SPRINKLER HEAD
	WALLWASH LIGHT		EXIT SIGN
	RECESSED ALCOVE LIGHT		EMERGENCY LIGHT FIXTURE

[illegible]

04		03		02		01	
		GENERAL NOTES				FLOOR PLANS	
A		CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING THE SCOPE OF WORK OF THIS PROJECT PRIOR TO COMMENCING WITH THE ASSOCIATED WORK. IN THE EVENT THE DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO DO SO CONSTITUTES THE CONTRACTOR'S ACCEPTANCE OF THE WORK AS SHOWN.					
B		DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY / CONCRETE, U.N.O.					
C		THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CORNER OF A ROOM UNDIMENSIONED SHALL BE 0' OR 8" IN MASONRY WALLS (AS GRAPHICALLY INDICATED ON PLANS) OR 6" IN STUD FRAMED WALLS (AS GRAPHICALLY INDICATED ON PLANS) FROM THE INSIDE CORNER, UNLESS NOTED OR DIMENSIONED OTHERWISE.					
D		THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF A WALL UNDIMENSIONED SHALL BE CENTERED ON THE WALL, UNLESS NOTED OR DIMENSIONED OTHERWISE.					
E		IN SPACES OPEN TO EXPOSED STRUCTURE ABOVE, PERIMETER WALLS OF SPACE SHALL EXTEND TO UNDERSIDE OF ROOF / FLOOR DECKING ABOVE.					
F		ALL WALLS ARE TO BE EXTENDED TO UNDERSIDE OF DECK (ROOF OR FLOOR), UNLESS NOTED OTHERWISE.					
G		ALL LOCATIONS WHERE BRICK VENEER BUTTS INTO CMU OR CAST STONE, A SOFT JOINT WITH BACKER ROD AND SEALANT SHALL BE PROVIDED.					
H		ALL EXPOSED STEEL SHALL BE FULLY AND COMPLETELY PAINTED WITH HIGH PERFORMANCE & FIRE RESISTIVE COATINGS PRIOR TO INSTALLATION, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS & SPECIFICATIONS.					
I		ALL INTERIOR WALLS NOT TAGGED TO BE WALL TYPE S3, NON-FIRE-RATED, & UP TO UNDERSIDE OF STRUCTURE UNLESS NOTED OTHERWISE.					
		KEYED NOTES				FLOOR PLANS	
01		MONUMENTAL WALL SIGNAGE					
02		PROJECTOR SCREEN					
03		EXISTING DOOR TO REMAIN - SEE OPENING SCHEDULE					
04		PATCH AND REPAIR AS REQUIRED FOR NEW CONSTRUCTION. MIN RATING 2HR					

W

E

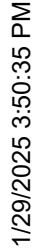
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N

WEST WING

A04		KEY PLAN					
04		03		02		01	
		NOT TO SCALE					

[illegible]


$$3/16'' = 1'-0''$$

FLOOR PLANS

FLOOR PLANS

DOOR TO REMAIN - SEE OPENING SCHEDULE

04 PATCH AND REPAIR AS REQUIRED FOR NEW CONSTRUCTION. MIN RATING 2HP

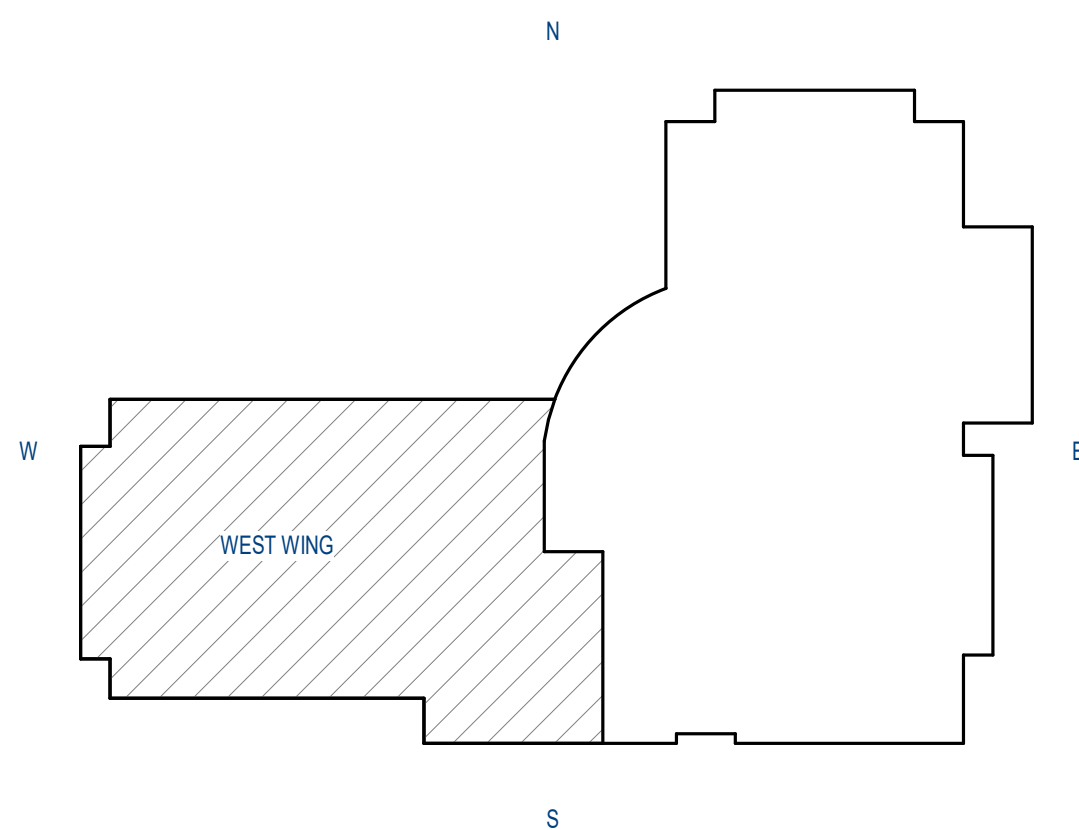
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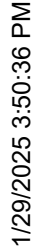
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24095

C.O.K. PLANS REVIEW /
ELECTRONIC PERMIT STAMP



A04

KEY PLAN
NOT TO SCALE

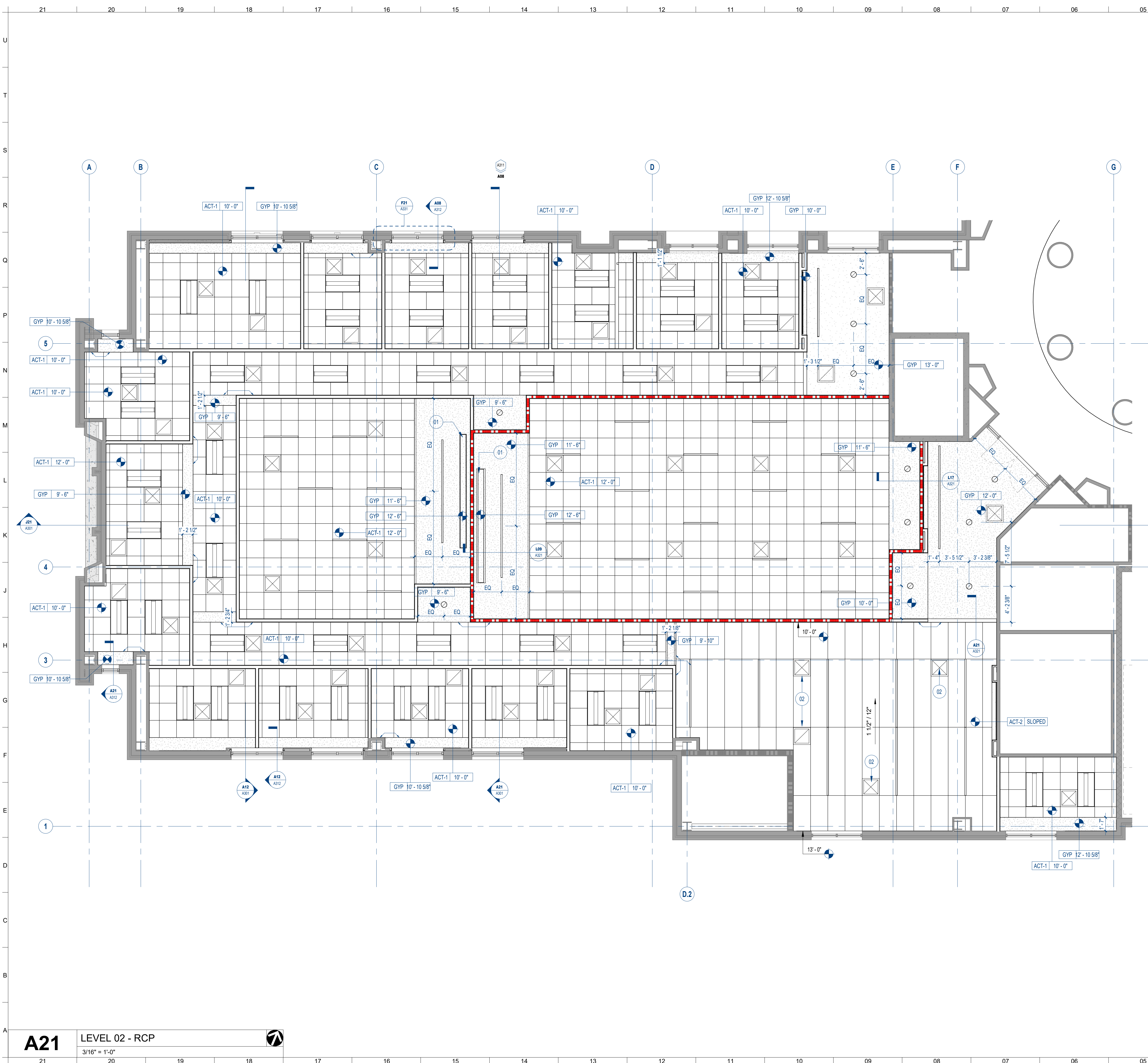
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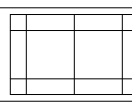

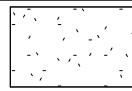

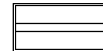







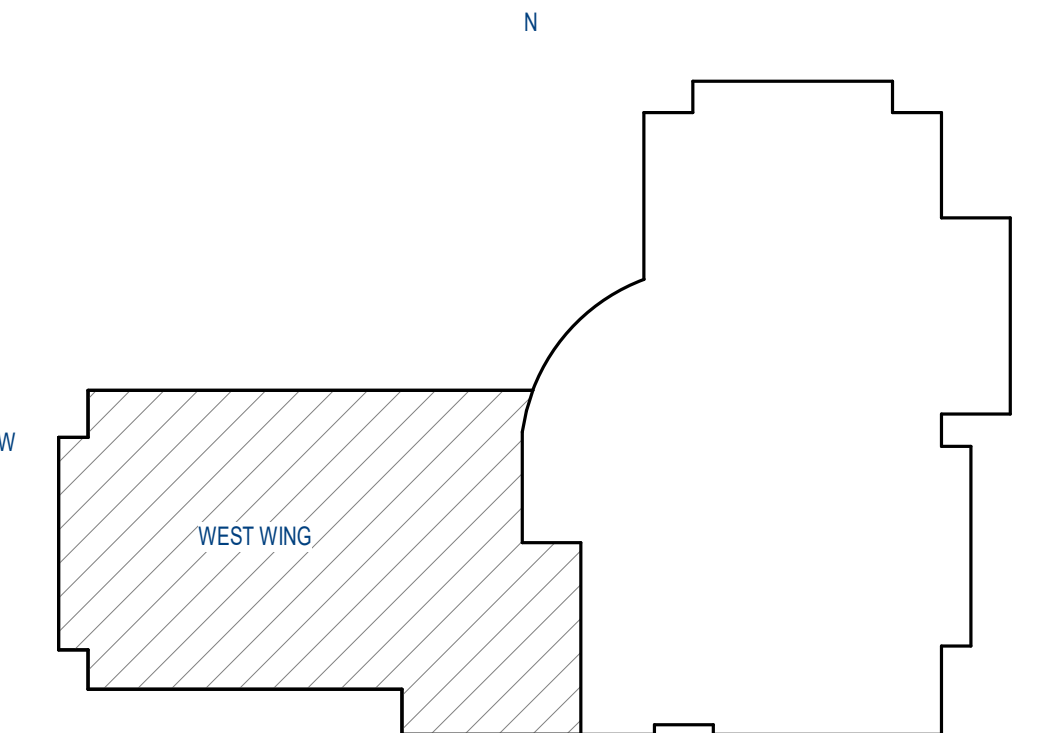
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SHEET DESCRIPTION
FIRST FLOOR RCF

A121

PROJECT DATE	PROJECT NUMBER
2025-01-29	24095



04		03		02		01	
■		GENERAL NOTES					
		REFLECTED CEILING PLANS					
A		ALL CEILING HEIGHTS ARE ABOVE FINISH FLOOR ELEVATION.					
B		COORDINATE INSTALLATION OF SPRINKLER HEADS WITH ARCHITECT UPON SHOP DRAWING SUBMITTAL.					
C		DIMENSIONS ON REFLECTED CEILING PLAN ARE SHOWN TO FACE OF GYPSUM BOARD U.N.O.					
D		ALL EXIT SIGNS, LIGHT FIXTURES, SPEAKERS, AUDIO VISUAL DEVICES, SMOKE DETECTORS AND/OR OTHER DEVICE LOCATIONS SHOWN IN THE REFLECTED CEILING PLAN SHALL BE LOCATED IN THE CENTER OF THE CEILING TILE OR PANELS UNLESS NOTED OTHERWISE.					
E		PROVIDE SEISMIC BRACING AS REQUIRED BY LOCAL CODE.					
■		KEYED NOTES				← (#)	
		REFLECTED CEILING PLANS					
01		PROJECTOR ALCOVE					
02		PAINT SUPPLY & DIFFUSER TO MATCH CEILING FINISH COLOR					
■		GRAPHIC LEGEND					
		NOT TO SCALE REFLECTED CEILING PLANS					
		1T - 2' x 2' ACOUSTIC CEILING TILE				SLOT DIFFUSER	
		GYP - GYPSUM BOARD CEILING				DIFFUSER - SUPPLY	
		2' x 4' GRID FIXTURE				DIFFUSER - RETURN	
		RECESSED DOWNLIGHT				SPRINKLER HEAD	
		WALLWASH LIGHT				EXIT SIGN	
		RECESSED ALCOVE LIGHT				EMERGENCY LIGHT FIXTURE	
							
A04		KEY PLAN				↑	
		NOT TO SCALE					
04		03		02		01	

