

CONSTRUCTION DOCUMENTS FOR:

PROJECT: SBC No. 540/005-12-2021 Multiple Buildings Roof Replacements

PROJECT STATUS: 100% CONSTRUCTION DOCUMENTS (12/08/2023)

FOR
INFORMATION
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DRAWINGS

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ARCHITECTURE & DESIGN

University of Tennessee Chattanooga
Multiple Buildings Roof Replacements
SBC No. 540/005-12-2021
Fine Arts Building
752 VINE STREET, Chattanooga, TN 37403

REVISIONS & ADDENDA

ID	Date	Description

Release Date: 12/08/2023

Project No.: SBC No. 540/005-12-2021

TITLE:
COVER SHEET

SHEET No.:
G-001

SHEET INDEX

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AD-300	EXTERIOR ELEVATIONS / SECTIONS - DEMO
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AD-302	EXTERIOR ELEVATIONS / SECTIONS - DEMO
AD-303	EXTERIOR ELEVATIONS / SECTIONS - DEMO
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AD-402	SECTION DETAILS - DEMO

ARCHITECTURAL

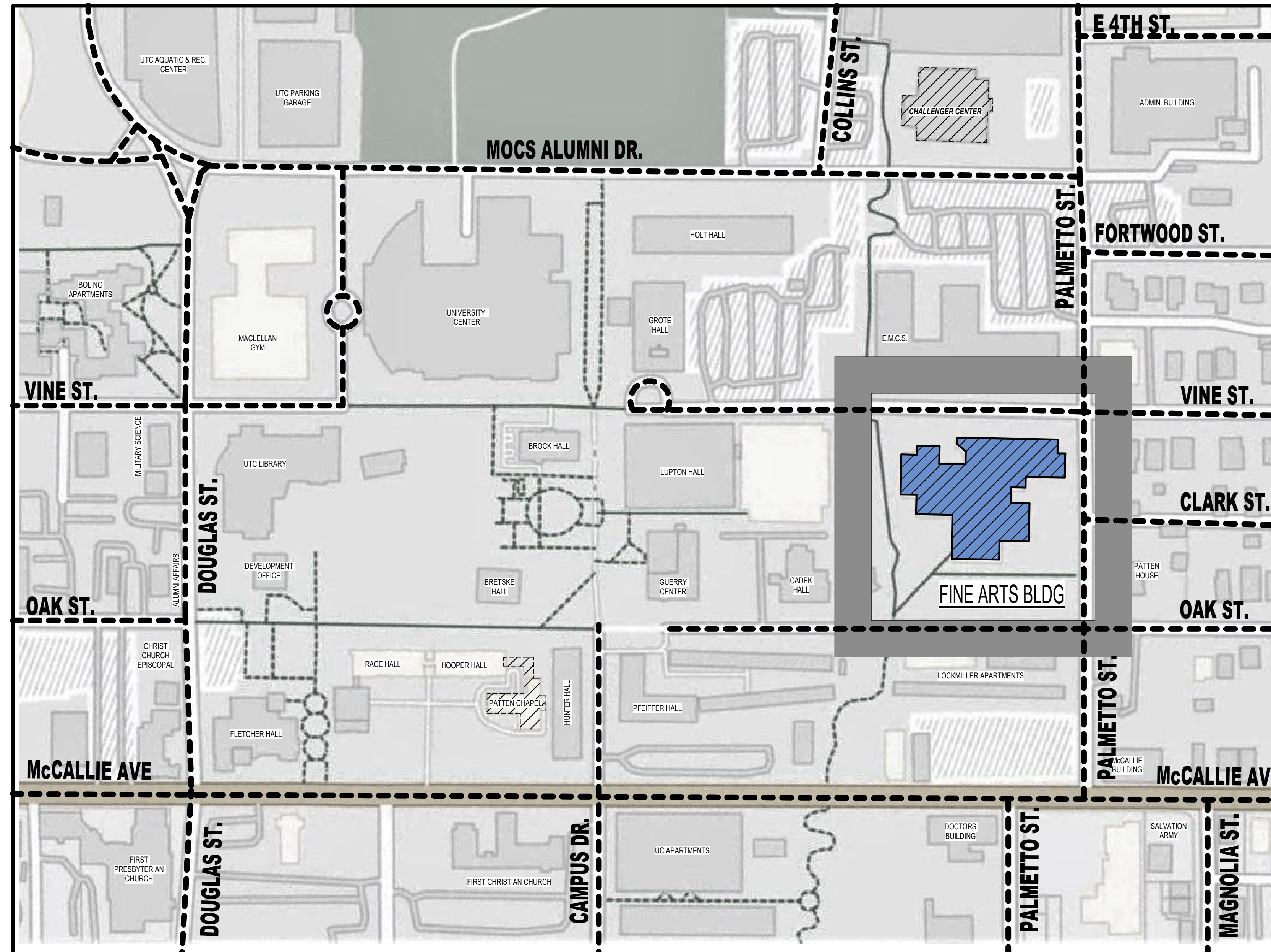
A-100	BUILDING PERSPECTIVES - NEW
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ELECTRICAL

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ED-101	OVERALL ROOF PLAN - ELECTRICAL DEMO
E-101	OVERALL ROOF PLAN - ELECTRICAL



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SITE PLAN

SHEET No.:
G-100

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VINE STREET

VINE STREET ENTRY

WARD THEATRE

FINE ARTS CENTER

PALMETTO STREET ENTRY

EXISTING MECHANICAL VAULT

EXISTING ELECTRICAL EQUIPMENT PAD
EXISTING BOLLARDS

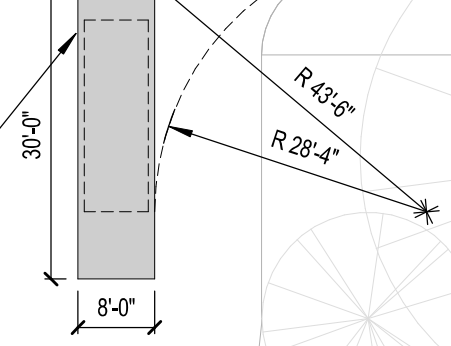
EXISTING DUMPSTER PAD

SUGGESTED JOB TRAILER LOCATION. CONTRACTOR TO CONFIRM REQUIRED SIZE AND LOCATION

THEATRE LOADING

HAYES CONCERT HALL

30' TRUCK - CONTRACTOR TO CONFIRM REQUIRED SIZE, TURNING RADIUS REQUIRED.



RELOCATE EXISTING ADA PARKING AND STRIPING

ADA ADA

SEPARATE CONTRACT JOB TRAILER

ADA ADA

MATERIAL STAGING AREA

SEPARATE CONTRACT MATERIAL STAGING AREA

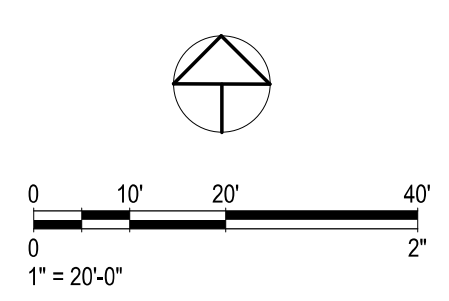
ADA ADA

NEW TEMP ADA PARKING
TEMPORARY 2 WAY PARKING ENTRY AND EXIT
EXISTING ADA PARKING TO REMAIN

CONSTRUCTION TRAFFIC AND BACKSTAGE LOADING

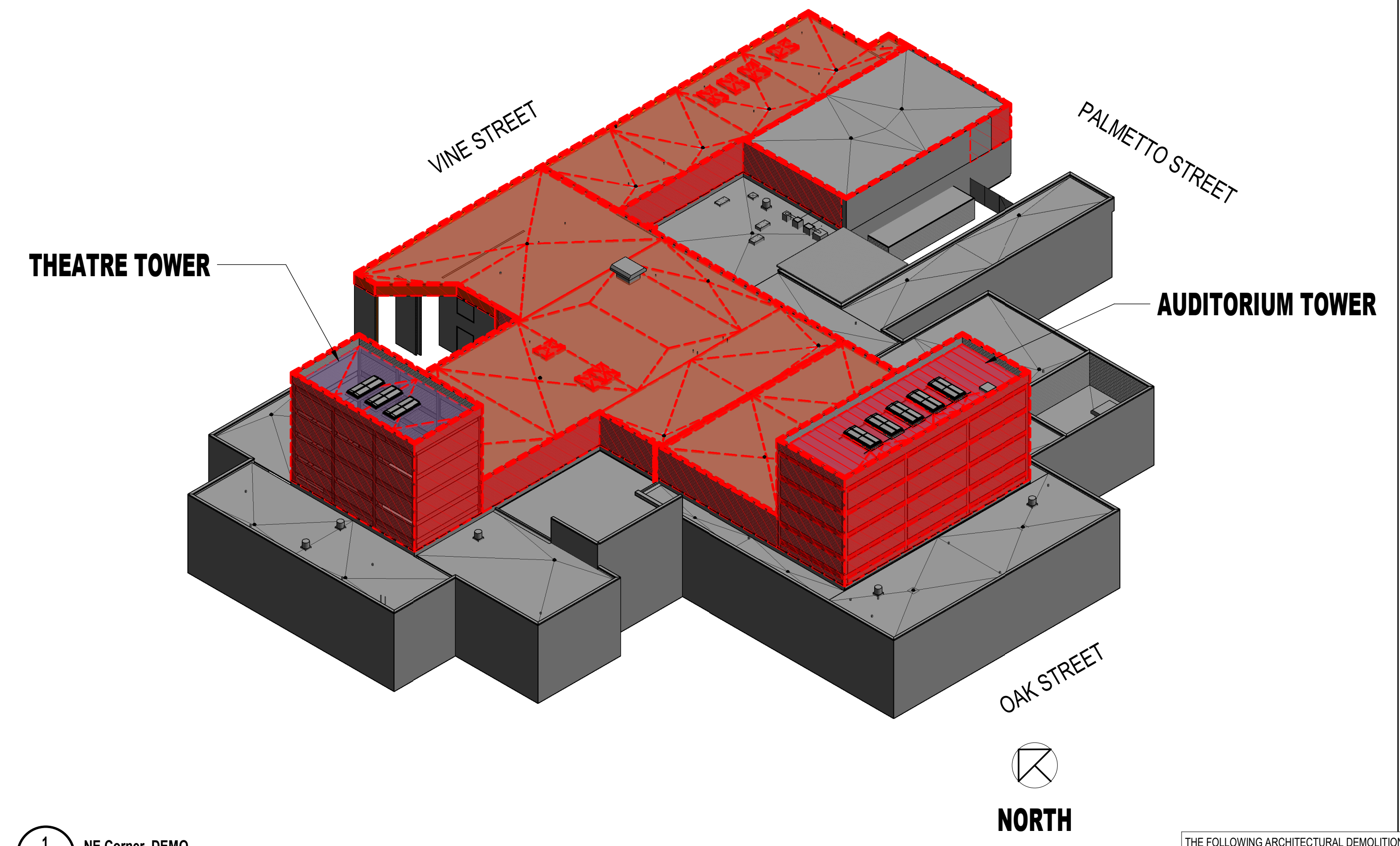
OAK STREET

PALMETTO STREET

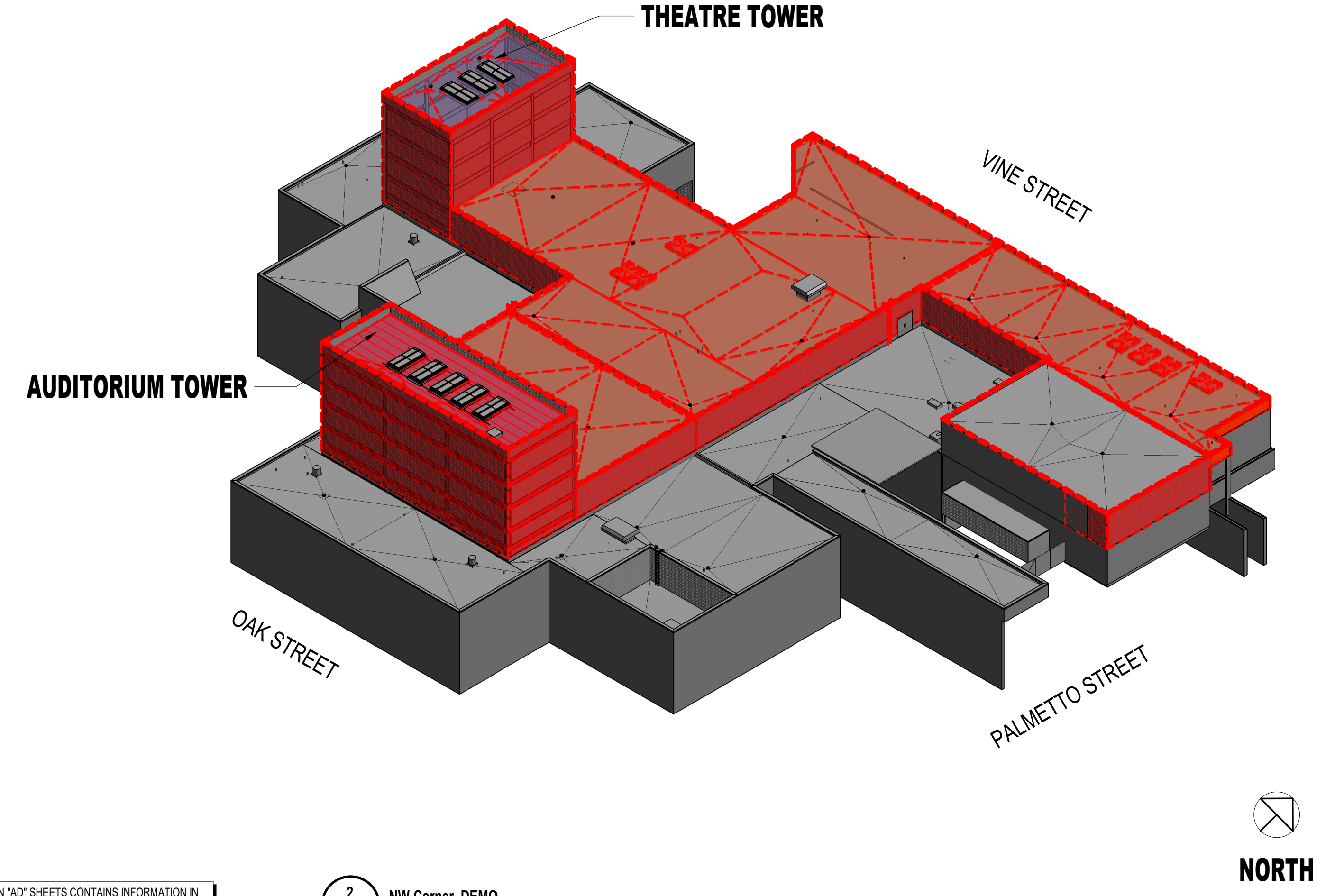




ID	Date	Description



1 NE Corner DEMO
 AD-100



2 NW Corner DEMO
 AD-100

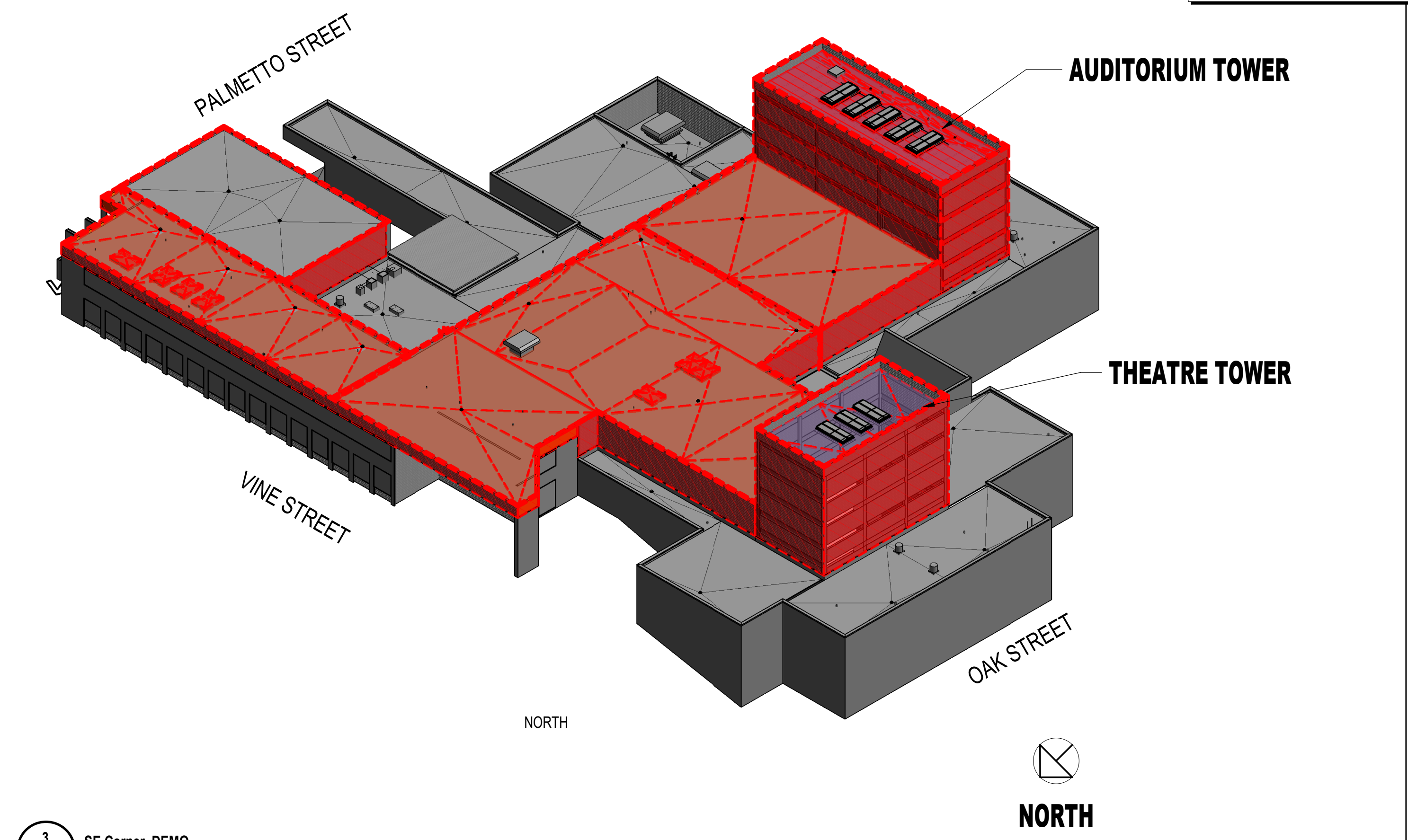
THE FOLLOWING ARCHITECTURAL DEMOLITION "AD" SHEETS CONTAINS INFORMATION IN COLOR, WHICH MAY NOT READ PROPERLY WHEN VIEWED IN BLACK AND WHITE. CONTACT ARCHITECT OR GC FOR COLOR VERSION IF NEEDED.

ITEMS IN RED ARE TO BE DEMOLISHED & ARE AS FOLLOWS:

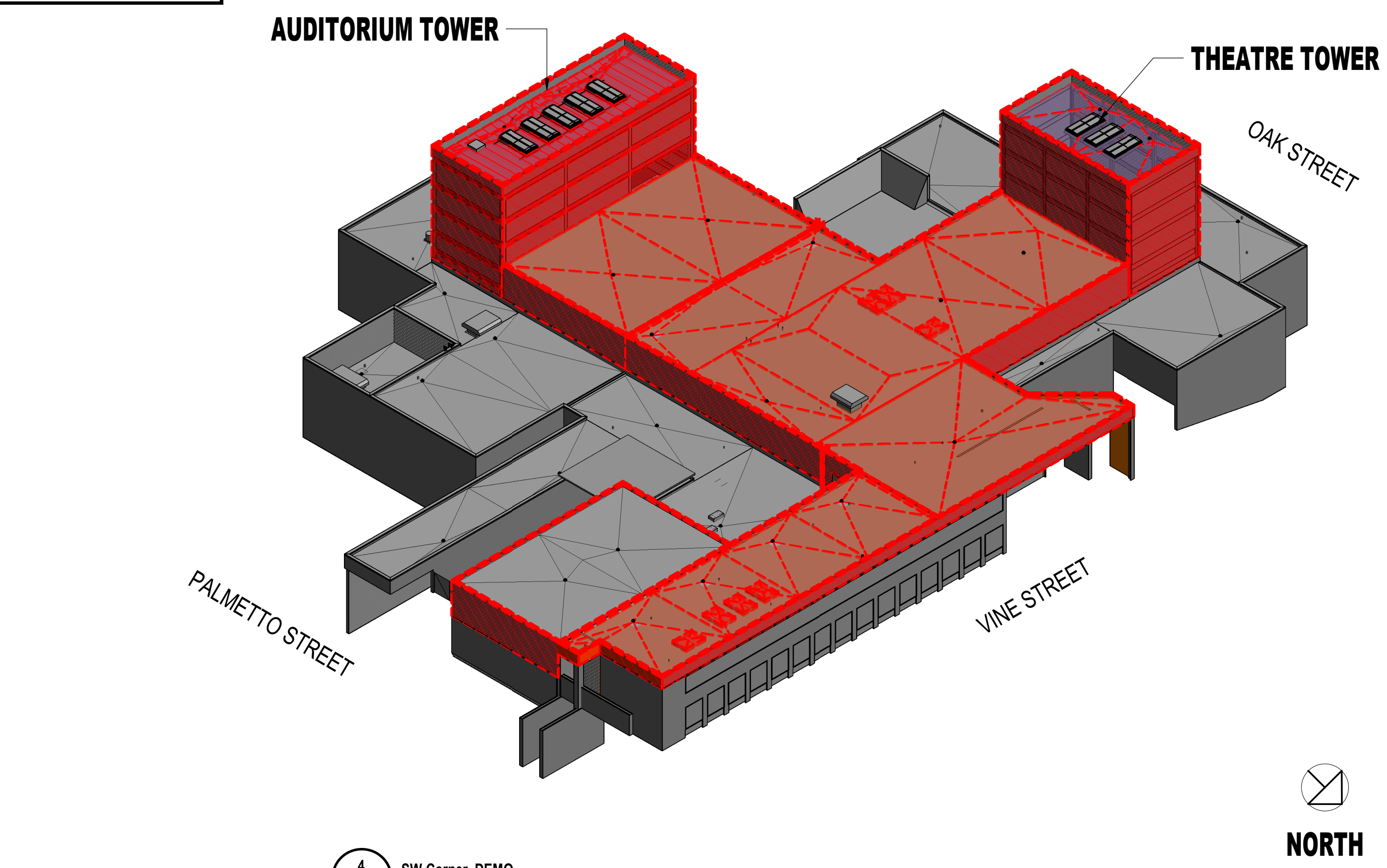
1. ROOF MEMBRANE, INSULATION AND ALL ACCESSORIES TO METAL OR CONCRETE DECK
2. BRICK VANEER AND ALL ACCESSORIES TO FACE OF CMU STEEL STRUCTURE
3. PRECAST CAPS @ EXISTING PARAPET LEVELS 2 AND 3
5. ABANDONED MECHANICAL COVERS
6. SEE ALL DEMO SHEETS FOR FULL EXTENT

ITEMS TO REMAIN ARE AS FOLLOWS:

1. STRUCTURAL STEEL
2. STRUCTURAL METAL DECKING
3. STRUCTURAL CONCRETE
4. CMU WALLS



3 SE Corner DEMO
 AD-100



4 SW Corner DEMO
 AD-100



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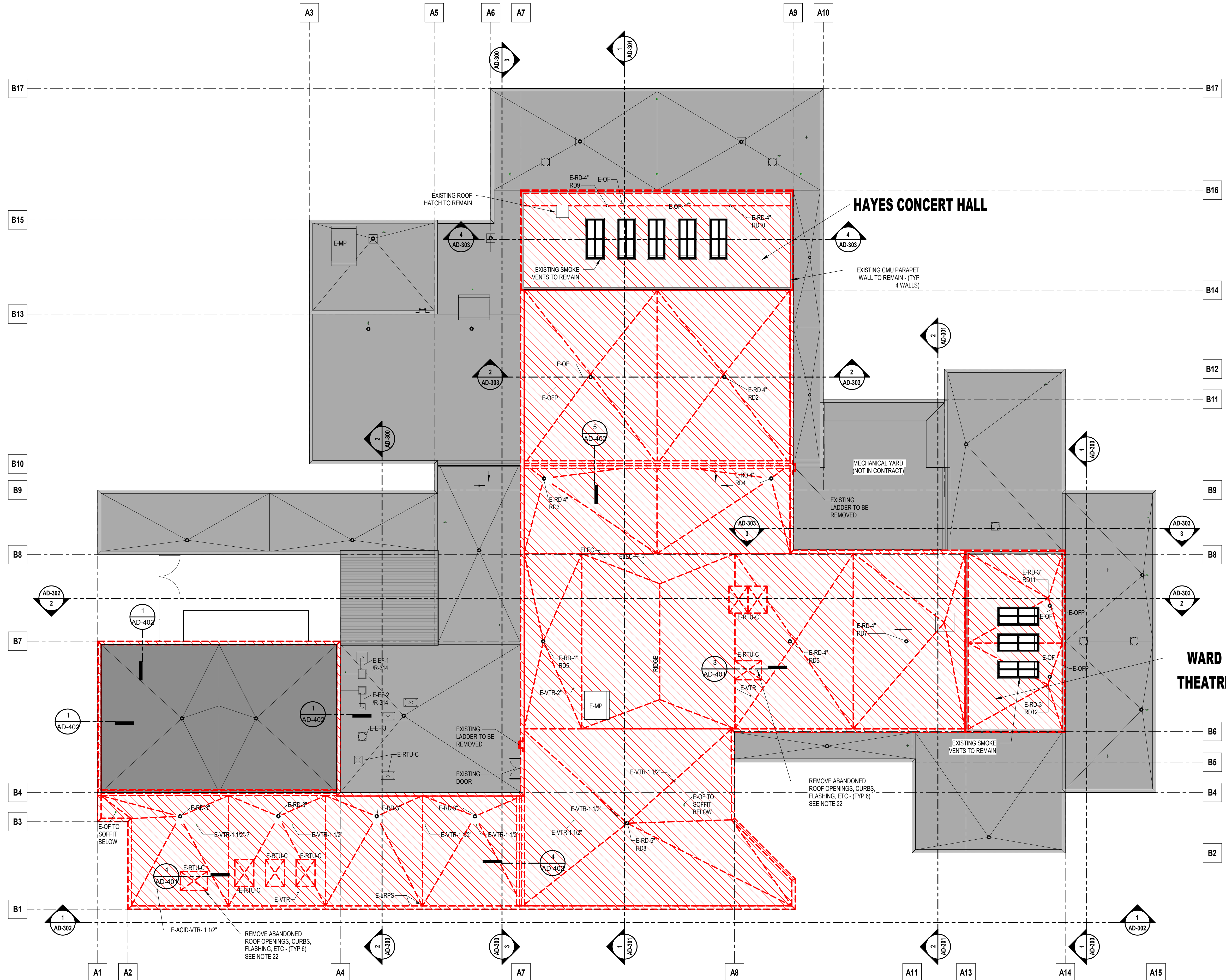
Release Date: 12/08/2023

Project No.: SBC No. 540/005-12-2021

TITLE:
FLOOR PLAN - ROOF LEVEL - DEMO

SHEET No.:

AD-200



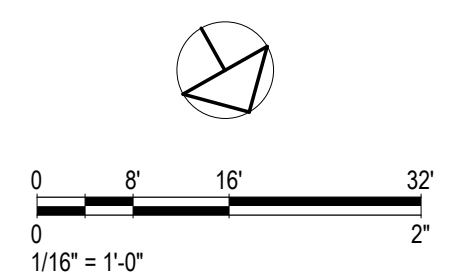
DEMOLITION NOTES

- SEE SPECIFICATIONS SECTIONS 02 41 19 SELECTIVE DEMOLITION
- CONTRACTOR TO VERIFY ALL WALL CONSTRUCTION & FINISHES NOTED FOR REMOVAL. TAKE INTO ACCOUNT ANY DISCREPANCY AND MAKE PROPER ADJUSTMENT TO ACCOMPLISH REQUIRED CONSTRUCTION & FINISHES. IF IT APPEARS THAT STRUCTURAL INTEGRITY MAY BE VIOLATED, CONTACT THE ARCHITECT AND OWNER.
- COORDINATE REMOVAL OF ROOF MEMBRANE, ROOF INSULATION, PARAPET, BRICK, LADDERS AND LIGHTNING PROTECTION WITH THE OWNER.
- CHECK WITH OWNER BEFORE LANDFILLING POTENTIALLY RE-USABLE ITEMS.
- BUILDING MUST NOT BE LEFT EXPOSED TO THE ELEMENTS OR VANDALS.
- MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS WILL REMAIN IN PLACE AND OPERATIONAL.
- ALL DEMOLISHED MATERIALS THAT ARE TO BE DISPOSED OF ARE TO BE DONE SO OFF-SITE IN COMPLIANCE WITH ALL APPLICABLE CODES AND/OR LAWS. ALL DUMP FEES/PERMIT COSTS ARE TO BE INCLUDED IN BIDS. RECYCLE ANY MATERIALS THAT CAN BE RECYCLED. ANY MATERIALS OR EQUIPMENT THAT ARE SCRAPPED FOR COMPENSATION ARE TO BE LISTED AS A LINE ITEM IN BID PROPOSALS OR SAID COMPENSATION RETURNED TO THE OWNER.
- SOME ITEMS TO BE DEMOLISHED MAY NOT BE SHOWN. COORDINATE DEMOLITION AMONG TRADES TO AVOID INTERFERENCES/CONFLICTS.
- ALL DEMOLITION ITEMS SHALL BE (I.N.O.) INCLUDED IN THE BID PRICE. ITEMS WHICH ARE NOT SHOWN, BUT ARE READILY APPARENT AT THE SITE ARE IMPLIED BY THESE DOCUMENTS AND SHALL BE INCLUDED IN THE BID PRICE.
- EACH AND EVERY ITEM OF DEMOLITION WORK CANNOT REASONABLY BE INDIVIDUALLY DEFINED ON THE PLANS, BUT ALL VISIBLE ITEMS, EITHER ABOVE OR BELOW ROOF MEMBRANE, THAT WILL NOT BE REUSED/REMAIN IN PLACE AS PER DRAWINGS SHOULD BE CONSIDERED AS PART OF THE DEMOLITION SCOPE OF WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE BUILDING AND PROJECT SITE AND INCLUDE THE COST OF SUCH IN THEIR BIDS.
- EXISTING WALLS AND FIXTURES ARE NOT NECESSARILY SHOWN IN THEIR ENTIRETY OR CORRECT LOCATION. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION AND OR CLARIFICATION.
- EXISTING FACILITIES THAT ARE TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (G.C.). ANY DAMAGED MATERIALS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.
- LIGHTNING PROTECTION SYSTEM:**
DISMOUNT LIGHTNING PROTECTION SYSTEM PER ELECTRICAL SHEETS
- RIGID INSULATION:**
REMOVE ALL RIGID INSULATION AS NOTED ON DRAWINGS. ALL RIGID INSULATION REMOVED IS TO BE RECYCLED. REMOVE CAREFULLY IN WHOLE PANELS AND STACKED FOR TRUCK LOADING.
- ROOFING MEMBRANE:**
REMOVE ALL ROOFING MEMBRANE. NOTED ON DRAWINGS.
- EXISTING METAL DECK:**
TO REMAIN. SEE GENERAL NOTES
- EXISTING STRUCTURAL CONCRETE DECK:**
TO REMAIN. SEE GENERAL NOTES
- EXISTING CMU:**
TO REMAIN. SEE GENERAL NOTES
- EXISTING PRECAST PARAPET CAPS:**
REMOVE ALL PRECAST PARAPET CAPS AS NOTED ON DRAWINGS. DISPOSAL METHOD - COORDINATE WITH OWNER/ARCHITECT.
- EXISTING BRICK:**
EXISTING BRICK IN TINKER MA'S SCOPE - REMOVE CAREFULLY. CLEAN AND STACK NEATLY FOR REUSE. COORDINATE LOCATION OF BRICK REUSE WITH ARCHITECT AND OWNER.
- EXISTING PRECAST WINDOW HEADERS AND PRECAST AT CEILING OVER VINE STREET ENTRY:**
TO REMAIN AND PROTECT DURING DEMOLITION AND NEW CONSTRUCTION
- EXISTING RTUs (E-RTU-C):** REMOVE ABANDONED ROOF OPENINGS, CURBS, FLASHING, ETC. (TYP 6) EXISTING CONDITION UNKNOWN - CONTRACTOR TO FIELD VERIFY. DETAIL SHOWS GENERAL INTENT. MODIFICATIONS MAY BE NECESSARY BASED ON EXISTING CONDITIONS. SEE STRUCTURAL FOR DECK REQUIREMENTS.

LEGEND

	DEMOLITION WORK
	EXISTING TO REMAIN
E-OF	EXISTING OVER FLOW
E-OPP	EXISTING OVER FLOW PIPE
E-VTR	EXISTING VENT THRU ROOF
E-EF-?	EXISTING EXHAUST FAN
E-RD	EXISTING ROOF DRAIN
E-RTU-C	EXISTING ROOF TOP UNITS - CAPPED
E-MP	EXISTING MECHANICAL PENTHOUSE
E-EF-?/R-?	EXISTING EXHAUST AND RETURN SYSTEM
E-LRPS	EXISTING LIGHTNING ROD PERMETER SYSTEM
E-TOI	EXISTING TOP OF INSULATION

1 ROOF PLAN - DEMO
 AD-200 1/16" = 1'-0"





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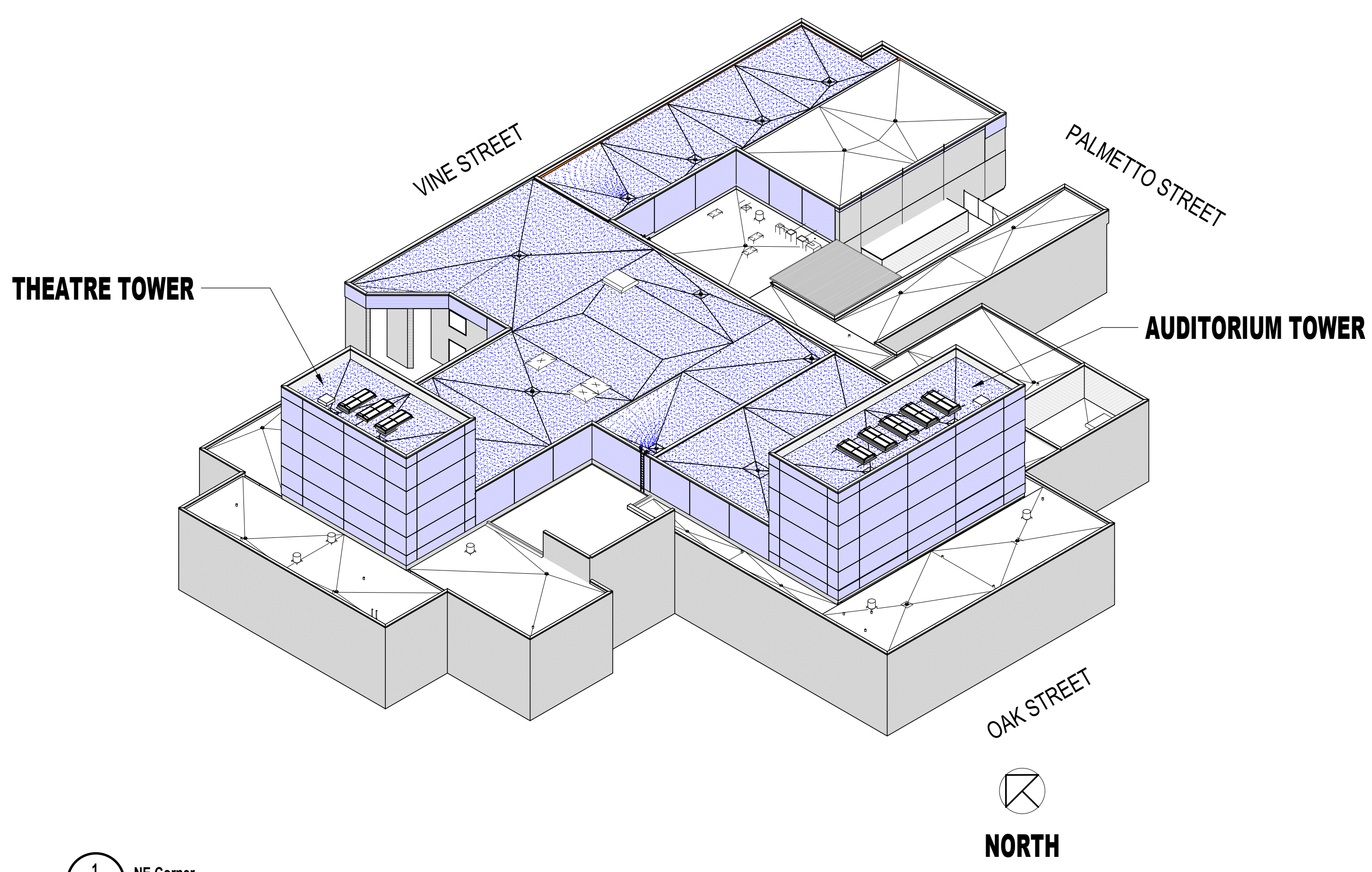
Project No.: SBC No. 540/005-12-2021

TITLE:
BUILDING PERSPECTIVES - NEW

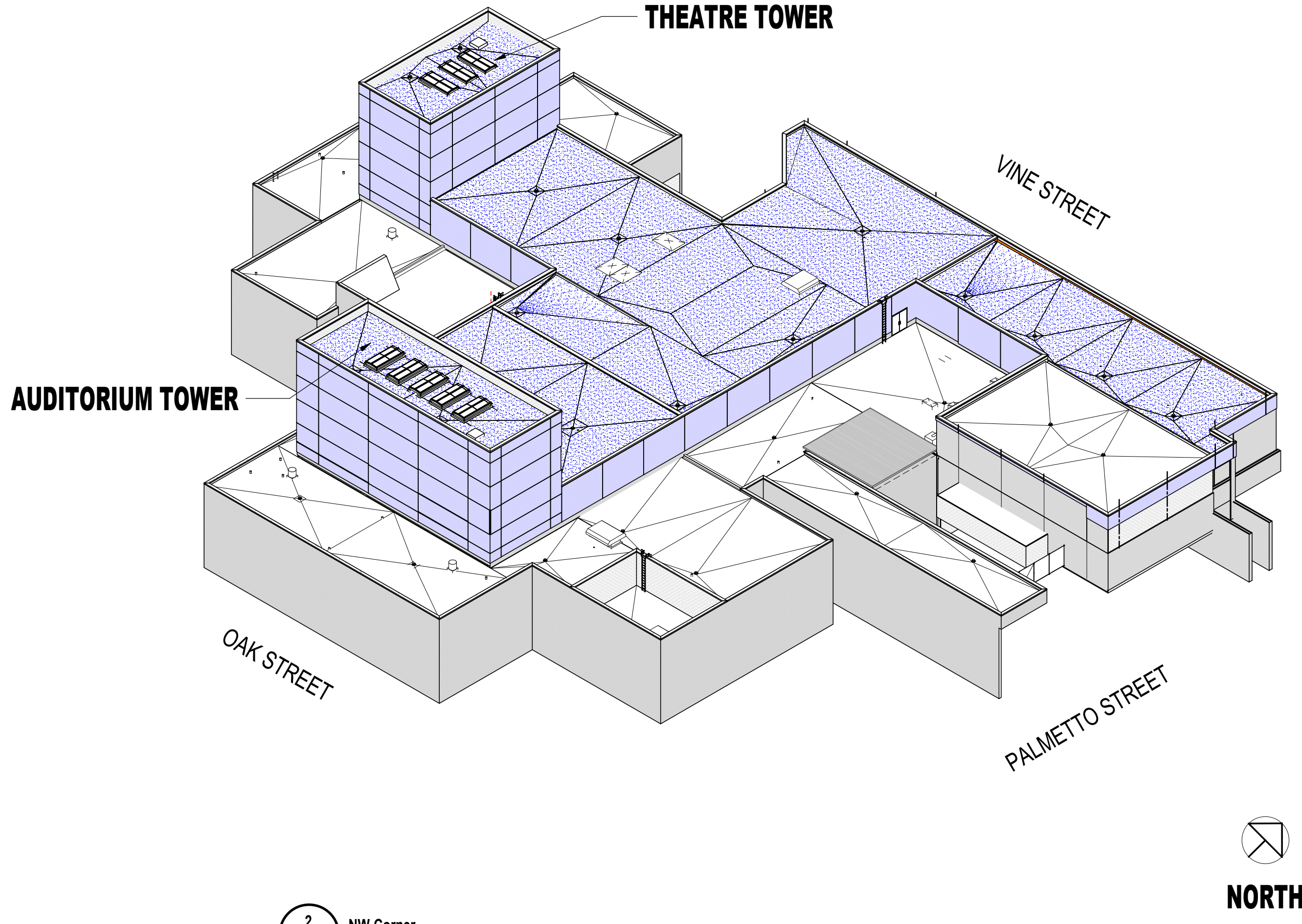
SHEET No.:

A-100

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1 NE Corner
A-100

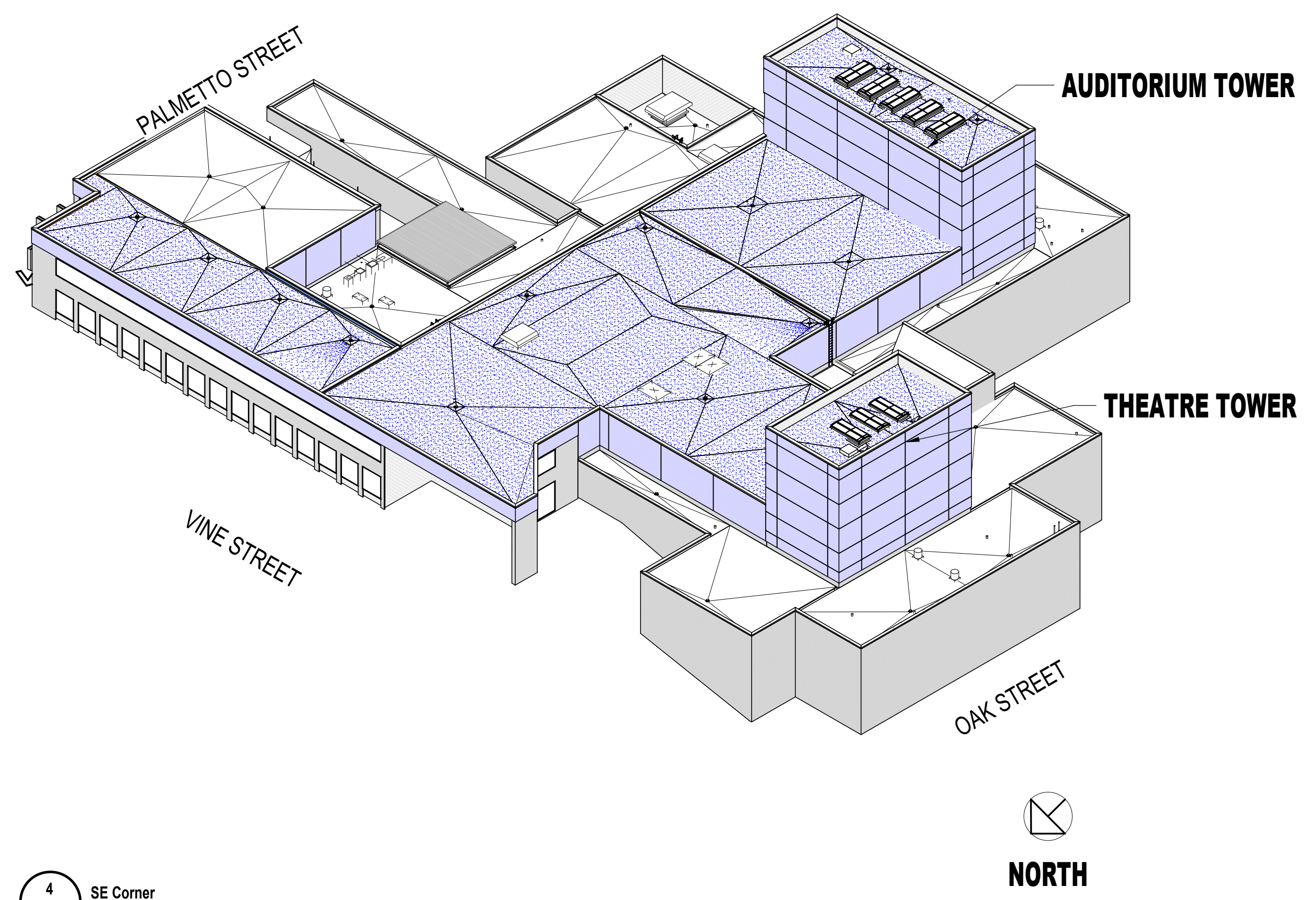


2 NW Corner
A-100

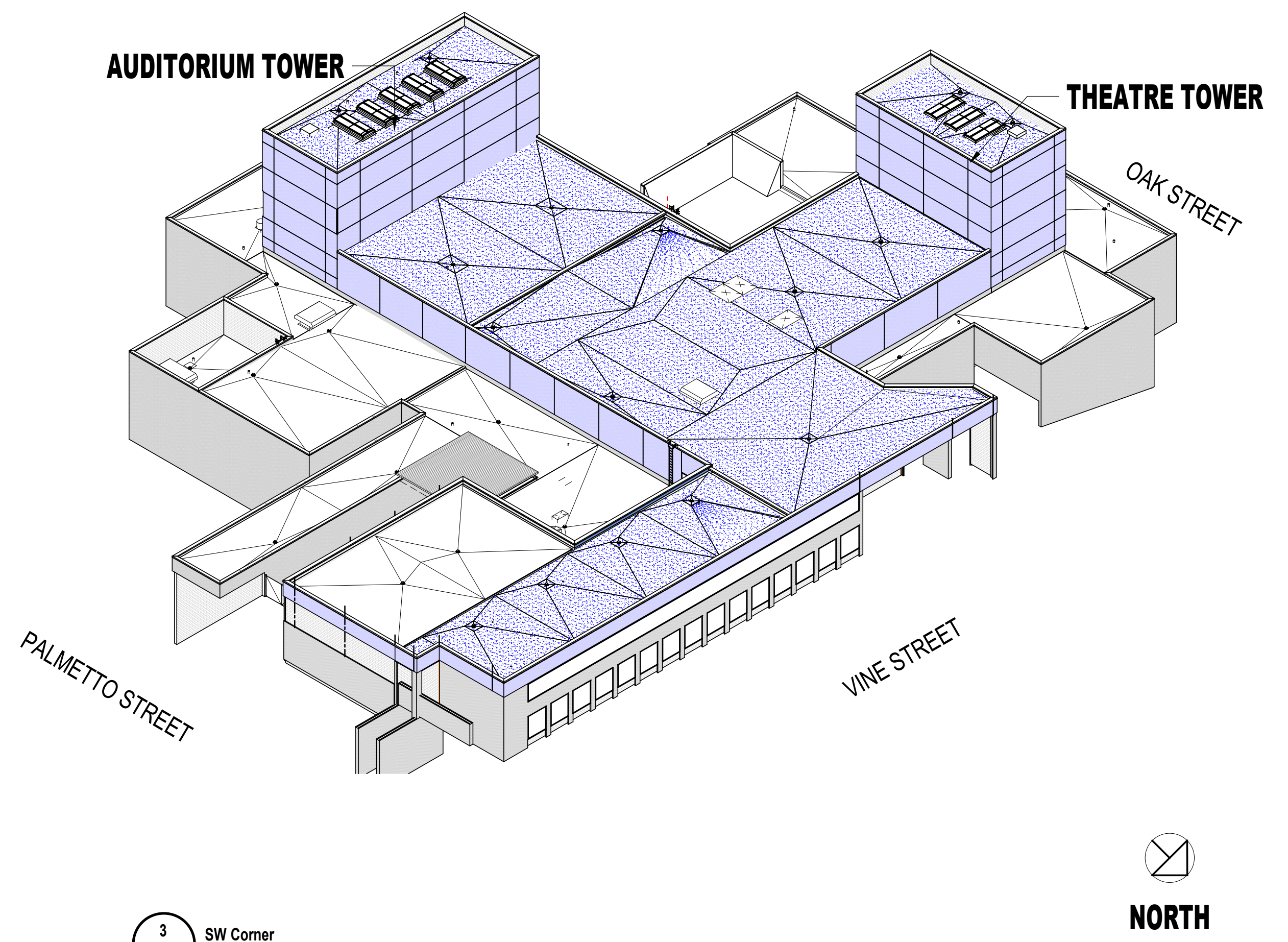
THE FOLLOWING ARCHITECTURAL "A" SHEETS CONTAINS INFORMATION IN COLOR, WHICH MAY NOT READ PROPERLY WHEN VIEWED IN BLACK AND WHITE. CONTACT ARCHITECT OR GC FOR COLOR VERSION IF NEEDED.

ITEMS IN BLUE ([stippled pattern] AND [solid blue]) ARE NEW CONSTRUCTION & ARE AS FOLLOWS:

1. ROOF MEMBRANE, INSULATION AND ALL ACCESSORIES TO METAL OR CONCRETE DECK
2. BRICK VANEER AND ALL ACCESSORIES TO FACE OF CMU/STEEL STRUCTURE
3. PREFINISHED METAL COPING SYSTEM @ EXISTING PARAPET LEVELS 2 AND 3
5. NEW METAL DECKING/ CONCRETE TO COVER WHERE ABANDONED MECH COVERS WERE.
6. SEE ALL "A" SHEETS FOR FULL EXTENT



4 SE Corner
A-100



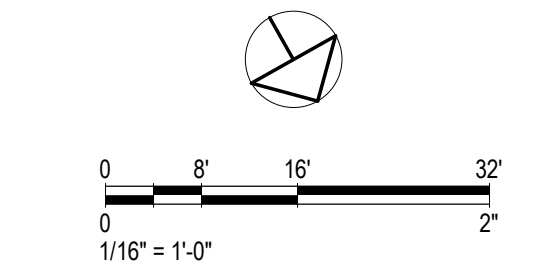
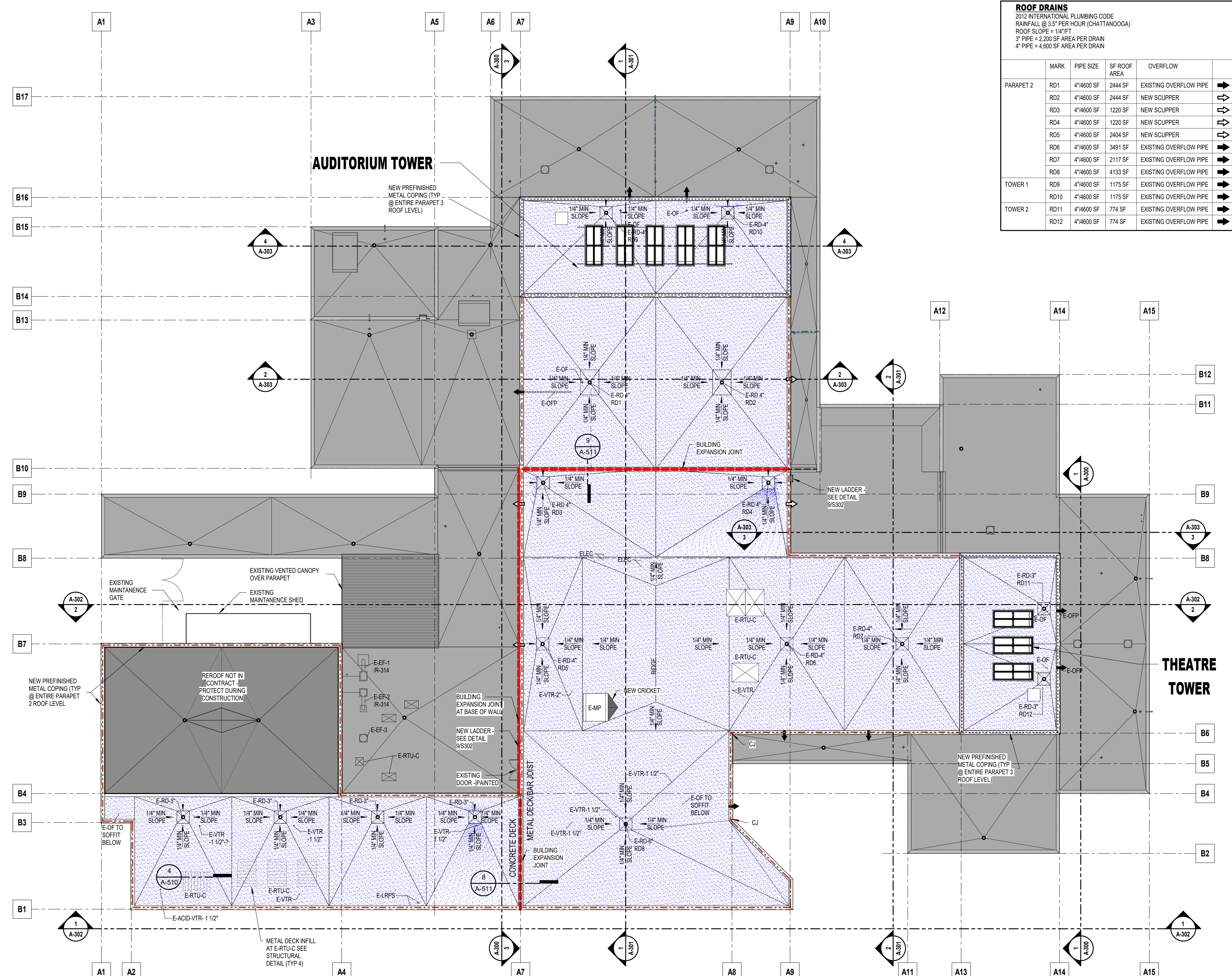
3 SW Corner
A-100

ID	Date	Description

- GENERAL NOTES**
- ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE WITH FEDERAL AND STATE LAWS, CURRENT LOCAL ORDINANCES & BUILDING CODES AND THE AMERICANS WITH DISABILITIES ACT (ADA) Accessibility Guidelines for Buildings and Facilities (ADAAG). REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
 - CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
 - CONTRACTOR TO VERIFY ALL DIMENSIONS WITH MANUFACTURER ON FIXTURES & EQUIPMENT SUPPLIED, PRIOR TO CONSTRUCTION
 - REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION INCLUDING DIMENSIONS. ENLARGED PLANS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES BEFORE PROCEEDING.
 - DIMENSIONS FOR NEW CONSTRUCTION ARE BASED ON EXISTING STRUCTURE. THE CONTRACTOR SHALL FIELD VERIFY BEFORE BEGINNING CONSTRUCTION.
 - ALL FINISH FLOOR ELEVATIONS MUST BE FIELD VERIFIED. ALL OTHER STRUCTURAL AND DIMENSIONAL ISSUES MUST BE VERIFIED BY THE CONTRACTOR. IF DISCREPANCIES ARISE, THE CONTRACTOR MUST NOTIFY THE ARCHITECT IN WRITING OF SUCH DISCREPANCIES
 - ALL WORK PERFORMED BY G.C. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & SAFETY CODE REQUIREMENTS.
 - ALL WORK SHALL BE INSTALLED COMPLETE IN ANY RESPECT.
 - ALL EXPOSED EXTERIOR STEEL TO BE PAINTED OR GALVANIZED.
 - ALL EGRESS PATHS AND EXITS TO REMAIN OPEN DURING CONSTRUCTION. CONTRACTOR TO PHASE AND COORDINATE CONSTRUCTION ACTIVITY TO MAINTAIN AND INSURE EGRESS REQUIREMENTS ARE MAINTAINED AT ALL TIMES.
 - DURING CONSTRUCTION WHERE NEW WORK OR ACCESS TO WORK AREAS OCCURS OVER EXISTING ROOFING TO REMAIN PROTECT
 - RIGID INSULATION:**
 MECHANICALLY FASTENED TO EXISTING METAL OR CONCRETE DECK. (SOME OF THE EXISTING STRUCTURE HAS MIN. 1/8" SLOPE BUT NOT ALL. CONTRACTOR TO FIELD VERIFY LOCATIONS. NEW RIGID INSULATION TO ACHIEVE AN OVERALL 1/4" SLOPE.
 A. ALL RIGID INSULATION THAT IS REMOVED IS TO BE RECYCLED. REMOVE CAREFULLY IN WHOLE PANELS AND STACKED FOR TRUCK LOADING.
 B. PROVIDE WALKPADS TO MAINTENANCE AREAS AND LADDERS.
 - ROOFING MEMBRANE:**
 80 mil. THERMOPLASTIC POLYOLEFIN (TPO) ROOFING MEMBRANE ADHERED TO INSULATION. CONTINUOUS LAYER TO EXTEND UP AND OVER PRESSURE TREATED WOOD NAIL.
 - EXISTING ROOF AREAS TO REMAIN:**
 A. TO REMAIN IN SAME CONDITION AS WHEN CONSTRUCTION STARTED. DURING CONSTRUCTION COVER AND PROTECT AT ALL TIMES.
 - EXISTING BRICK VENEER TO REMAIN:**
 A. TO REMAIN IN SAME CONDITION AS WHEN CONSTRUCTION STARTED. DURING CONSTRUCTION COVER AND PROTECT AT ALL TIMES.
 - EXISTING METAL DECK:**
 TO REMAIN. FIELD VERIFY CONDITION. INSPECT THE EXISTING ROOF DECK THROUGHOUT THE ROOF REMOVAL PROCESS. REPORT TO OWNER AND ARCHITECT STATUS OF EXISTING CONDITION. RECTIFY DAMAGED ROOF DECK AND PREP FOR NEW INSULATION PER MANUFACTURER'S RECOMMENDATIONS.
 A. PROVIDE NEW METAL DECK SECTIONS TO FILL IN WHERE CAPPED ROOF TOP UNITS (E-RTU-C) WERE REMOVED.
 B. INSPECT METAL DECK FOR LOW SPOTS OR DEFECTS THAT COULD CREATE LOW SPOTS.
 C. METAL ROOF DECK PANELS THAT HAVE EXTENSIVE CORROSION AND/OR STRUCTURAL DAMAGE SHALL BE REMOVED AND REPLACED.
 D. METAL ROOF DECK PANELS WITH LIGHT RUST AND CORROSION SHALL BE REPAIRED WITH A WIRE BRUSH AND APPLICATION OF A RUST INHIBITOR PRIMER.
 E. ABANDONED OPENINGS SHALL BE COVERED WITH METAL PLATES WHEN 6" OR LESS AND AN OVERLAY OF A METAL DECK PANEL FASTENED TO THE EXISTING METAL DECK WHEN OPENINGS ARE GREATER THAN 6".
 - EXISTING STRUCTURAL CONCRETE DECK:**
 TO REMAIN. FIELD VERIFY CONDITION. INSPECT THE CONCRETE ROOF DECK THROUGHOUT THE ROOF REMOVAL PROCESS. REPORT TO OWNER AND ARCHITECT STATUS OF EXISTING CONDITION. RECTIFY AND PREP FOR NEW INSULATION PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE METAL PLATE TO FILL IN WHERE CAPPED ROOF TOP UNITS (E-RTU-C) WERE REMOVED.
 - EXISTING CMU:**
 TO REMAIN. FIELD VERIFY CONDITION. REPORT TO OWNER AND ARCHITECT STATUS OF EXISTING CONDITION.
 - EXISTING PRECAST PARAPET CAPS:**
 TO BE REMOVED. SEE DEMOLITION NOTES
 - EXISTING PRECAST WINDOW HEADERS AND PRECAST AT CEILING OVER VINE STREET ENTRY:**
 TO REMAIN AND PROTECT DURING DEMOLITION AND NEW CONSTRUCTION
 - TOP OF BRICK CMU WALLS:**
 ONCE PRECAST PARAPET CAPS ARE REMOVED CLEAN AND PREP SURFACE FOR TWO ROWS OF 8"x8"x16" CMU BLOCK AND ACCESSORIES PER STRUCTURAL AND ARCHITECTURAL DETAILS.
 - NEW BRICK IN TINKER MA'S SCOPE:**
 PROVIDE NEW BRICK SYSTEM PER SPECIFICATIONS AND AS NOTED IN TINKER MA'S SCOPE OF WORK SHOWN ON DRAWINGS.
 - NEW PARAPET CAPS:**
 PROVIDE NEW PREFINISHED METAL COPING CLIP SYSTEM ARCHITECTURAL DETAILS.
 - NEW CONTROL JOINTS (IN BRICK VENEER SYSTEM):**
 PROVIDE 1/2" VERTICAL AS SHOWN ON ELEVATIONS AND ARCHITECTURAL AND STRUCTURAL DETAILS.
 - NEW LADDER:**
 PROVIDE NEW STEEL FABRICATED LADDER PER SPEC SECTION 05 50 00 AND STRUCTURAL DETAIL 9/S302.
 - NEW STRUCTURAL ITEM:**
 "SEE STRUCTURAL" ON ALL NEW BRICK LINTELS, NEW CHANNEL BRACING FOR CMU AND OTHER NEW STRUCTURAL ITEMS.
 - MEP ITEMS:**
 "SEE ELECTRICAL FOR ALL TEMPORARILY MOVED AND REINSTALLED ITEMS NOTE ON SHEET A-201.
 - OPENINGS AT EXISTING RTU'S (E-RTU-C) @ CONC STRUCTURE (TYP 4) & METAL DECK STRUCTURE (TYP 3):**
 EXISTING SUPPORT STRUCTURE UNKNOWN. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS. MODIFICATIONS MAY BE REQUIRED BASED ON EXISTING CONDITIONS. ACHIEVE POSITIVE DRAINAGE TO NEARBY ROOF DRAIN. WATER PONDING WILL NOT BE EXCEPTABLE.

ROOF DRAINS
 2012 INTERNATIONAL PLUMBING CODE
 RAINFALL @ 3.5" PER HOUR (CHATTANOOGA)
 ROOF SLOPE = 1/4" FT
 3" PIPE = 2,200 SF AREA PER DRAIN
 4" PIPE = 4,600 SF AREA PER DRAIN

MARK	PIPE SIZE	SF ROOF AREA	OVERFLOW			
PARAPET 2	RD1	4'x600 SF	2444 SF	EXISTING OVERFLOW PIPE	↔	
	RD2	4'x600 SF	2444 SF	NEW SCUPPER	↕	
	RD3	4'x600 SF	1220 SF	NEW SCUPPER	↕	
	RD4	4'x600 SF	1220 SF	NEW SCUPPER	↕	
	RD5	4'x600 SF	2404 SF	NEW SCUPPER	↕	
	RD6	4'x600 SF	3491 SF	EXISTING OVERFLOW PIPE	↔	
	RD7	4'x600 SF	2117 SF	EXISTING OVERFLOW PIPE	↔	
	RD8	4'x600 SF	4133 SF	EXISTING OVERFLOW PIPE	↔	
	RD9	4'x600 SF	1175 SF	EXISTING OVERFLOW PIPE	↔	
	RD10	4'x600 SF	1175 SF	EXISTING OVERFLOW PIPE	↔	
	TOWER 1	RD11	4'x600 SF	774 SF	EXISTING OVERFLOW PIPE	↔
		RD12	4'x600 SF	774 SF	EXISTING OVERFLOW PIPE	↔



LEGEND

- PARAPET LEVEL 2
- PARAPET LEVEL 3
- NEW CONSTRUCTION
- EXISTING TO REMAIN
- BUILDING EXPANSION JOINT

- E-OF EXISTING OVER FLOW
- E-OPP EXISTING OVER FLOW PIPE
- E-VTR EXISTING VENT THRU ROOF
- E-EF-? EXISTING EXHAUST FAN
- E-RD EXISTING ROOF DRAIN
- E-RTU-C EXISTING ROOF TOP UNITS - CAPPED
- E-MP EXISTING MECHANICAL PENTHOUSE
- E-EF-?/R-? EXISTING EXHAUST AND RETURN SYSTEM
- E-LRPS EXISTING LIGHTNING ROD PERIMETER SYSTEM
- E-TO EXISTING TOP OF INSULATION